



**NOTICE OF MEETING
OF THE
PLEASANT GROVE CITY COUNCIL**

Notice is hereby given that the Pleasant Grove City Council will hold a **Work Session meeting at 4:30 p.m.** prior to the regular **meeting on Tuesday November 7, 2023** in the Community Room 108 S 100 E, **at 6:00 p.m.** This is a public meeting and anyone interested is invited to attend. Work Sessions are not designed to hear public comment or take official action.

AGENDA

4:30 P.M. WORK SESSION

- a. Downtown Development discussion
- b. Swim Pool Repairs discussion
- c. Murdock Canal Trail discussion
- d. Discuss the strategies and progress of Moderate Income Housing.
- e. Staff Business

6:00 P.M. REGULAR CITY COUNCIL MEETING

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. OPENING REMARKS

4. APPROVAL OF MEETING AGENDA

5. OPEN SESSION

6. CONSENT ITEMS: (Consent items are only those which have been discussed beforehand, are non-controversial and do not require further discussion)

- a. City Council Minutes:
City Council Minutes for the October 17, 2023 meeting.
- b. To consider for approval Payment Request No. 1 for Insituform Technologies LLC for the FY 2022-23 Sewer Rehabilitation Project.
- c. To consider for approval Payment Request No. 5 for Staker Parson Materials and Construction, a CRH Company for the Pleasant Grove 2600 North Roadway Improvements Project.
- d. To consider approval of Payment Reports for October 19 and November 2, 2023.

PLEASE NOTE: THE ORDER OF THE FOLLOWING ITEMS MAY BE SUBJECT TO CHANGE.

7. BOARD, COMMISSION, COMMITTEE APPOINTMENTS:

- A. To consider the approval of Marina Gish as a Historic Commission Member.

8. PRESENTATIONS:

9. PUBLIC HEARING ITEMS:

- A. Continued Public Hearing to consider for adoption Ordinance (2023-24) amending City Code Section 10-19: Signs and Outdoor Advertising. The applicant is proposing to make changes to the sign ordinances to permit two new signs in The Grove Zone. (City Wide) (Pleasant Grove City Applicant) *Presenter: Director Cardenas* Continued from the October 17, 2023 meeting.
- B. Public Hearing to consider for adoption Ordinance (2023-27) amending City Code Section 10-12B-2, Permitted, Conditional, and Accessory Uses, by modifying the provisions and requirements for permitted principal uses within the Manufacturing Distribution (M-D) Zone, to permit Use #7600 (Parks). (City Wide) (Pleasant Grove City Applicant)

10. ACTION ITEMS READY FOR VOTE:

- A. To consider for adoption a Resolution (2023-052) authoring the Mayor to declare a 2016 Ford F-150 Crew Cab Truck and a 2016 Ford F-150 Extended Cab Truck as surplus and Direct that they be Disposed of According to the City's Policy for Disposing of Surplus Property. *Presenter: Director Winterton*
- B. To consider re-adoption of Ordinance (2023-17) to adjust the common boundary between Pleasant Grove City and American Fork City. The proposed area to be adjusted is owned by Bruce C. Black and Monica R. Black or Their Successors as Trustees of the Black Family Trust Dated April 21, 2021. Located at approximately 1600 W 2000 N Pleasant Grove, Utah and providing an effective date. *Presenter: Administrator Darrington*

11. ITEMS FOR DISCUSSION:

- A. Continued Items from the Work Session if needed.

12. REVIEW AND DISCUSSION OF THE DECEMBER 5, 2023 CITY COUNCIL MEETING AGENDA.

13. MAYOR AND COUNCIL BUSINESS.

14. SIGNING OF PLATS.

15. REVIEW CALENDAR.

16. ADJOURN.

CERTIFICATE OF POSTING:

I certify that the above notice and agenda were posted in three public places within Pleasant Grove City limits and on the State (<http://pmn.utah.gov>) and City (www.plgrove.org) websites.

Posted by: /s/ Kathy T. Kresser, City Recorder

Date: November 3, 2023

Time: 12:00 pm

Place: City Hall, Library and Community Room 108 S 100 E.

*Note: If you are planning to attend this public meeting and due to a disability, need assistance in understanding or participating in the meeting, please notify the City Recorder, 801-785-5045, forty-eight hours in advance of the meeting and we will try to provide whatever assistance may be required.

**PARTIAL PAYMENT ESTIMATE
NO. 1**

Name of Contractor:	<i>Insitufrom Technologies, LLC</i>	
Name of Owner:	<i>Pleasant Grove City</i>	
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: February 29, 2024	Original: \$309,108.00	From: September 20, 2023
Revised: na	Revised: na	To: October 30, 2023

Description of Job: ***FY 2022-23 Sewer Rehabilitation Project***

Amount	This Period	Total To Date
Amount Earned	\$190,183.00	\$190,183.00
Retainage Held	\$9,509.15	\$9,509.15
Retainage Being Released	\$0.00	\$0.00
Previous Payments	-	\$0.00
Amount Due	\$180,673.85	\$180,673.85

This project is on schedule, only 75% of requested items was paid due not enough time for full review of completed items.

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

After the Mayor signs this
Pay request please code to
52-90-812

Recommended by: Pleasant Grove City Engineering

Date: 10/30/2023

Britta Jelle 2023.10.30
16:14:33-06'00'

Accepted by: Insitufrom Technologies, LLC

Date: 10.30.2023

Eric Huss

Approved by: Pleasant Grove City Mayor

Date: _____

Schedule of Values

PROJECT: FY 2022-23 Sewer Rehabilitation Project

PAY PERIOD: 1 10/30/2024

ITEM NO.	NATURE OF WORK	CONTRACT ITEMS				QUANTITY		EARNINGS	
		Qty	Units	Unit Price	Bid Amt.	This Month	To Date	This Month	To Date
1	Mobilization	1	Temp	\$2,705.00	\$2,705.00	0.50	0.50	\$1,352.50	\$1,352.50
2	8" Cipp Lining	4,700	LF	\$32.00	\$244,400.00	3516.75	3516.75	\$182,871.00	\$182,871.00
3	Reconnection of Sewer Lateral	89	BA	\$137.00	\$11,371.00	49.50	49.50	\$5,959.50	\$5,959.50
4	Cut Protruding Lateral	7	BA	\$43.00	\$3,031.00		0.00	\$0.00	\$0.00
5	Mobilization to Cut Protruding Lateral in Pipe w/o CIPP Lining	2	BA	\$2,705.00	\$5,410.00		0.00	\$0.00	\$0.00
6	Top Hat Lateral Repair	5	BA	\$4,219.00	\$21,095.00		0.00	\$0.00	\$0.00
7	Mobilization for Top Hat Lateral Repair in Pipe w/o CIPP Lining	3	BA	\$7,632.00	\$21,096.00		0.00	\$0.00	\$0.00
Subtotal					\$309,108.00			\$190,183.00	\$190,183.00
Total					\$309,108.00			\$190,183.00	\$190,183.00

city quantities	#DIV/0!	differece	
	43.50	\$5,959.50	
	0.00	\$0.00	
	0.00	\$0.00	
	0.00	\$0.00	
	0.00	\$0.00	

TOTAL	\$190,183.00	\$190,183.00
AMOUNT RETAINED	\$9,509.15	\$9,509.15
RETAINAGE RELEASED	\$0.00	\$0.00
PREVIOUS RETAINAGE	-	\$0.00
PREVIOUS PAYMENTS	-	\$0.00
AMOUNT DUE	\$180,673.85	\$180,673.85



TO: Pleasant Grove
 4000 Britton Twicken
 323 West 700 South
 Pleasant Grove, UT 84062

PROJECT: FY2022-23 Pleasant Grove Sewer Rehabilitation Project

Insituform Technologies, LLC
 9654 TITAN CT
 LITTLETON, CO 80125
 303-791-7199
 Remit Payment To:
 PO Box 74008440
 Chicago, IL 60674-8440

ESTIMATE # 1
 INVOICE # 1
 JOB # 172203
 WORK DATE RANGE 09.06.2023 to 10.27.2023
 INVOICE DATE 10.27.2023

ITEM NO	DESCRIPTION	FINAL ANTICIPATED QUANTITIES			COMPLETED PRIOR PERIOD			COMPLETED TO-DATE			COMPLETED THIS PAY PERIOD					
		QUANTITY	UNIT PRICE	Amount	QUANTITY	%	AMOUNT	QUANTITY	%	AMOUNT	QUANTITY	%	AMOUNT			
1	Mobilization	1.00	LS	\$ 2,705.00	0.00	LS	0%	\$ -	1.00	LS	100%	\$ 2,705.00	1.00	LS	100%	\$ 2,705.00
2	8" CIPP Lining	4,689.00	LF	\$ 243,828.00	0.00	LF	0%	\$ -	4,689.00	LF	100%	\$ 243,828.00	4,689.00	LF	100%	\$ 243,828.00
3	Reconnection of Sewer Lateral	83.00	EA	\$ 13,371.00	0.00	EA	0%	\$ -	56.00	EA	70%	\$ 7,946.00	56.00	EA	70%	\$ 7,946.00
4	4" in Preplaced Lateral	3.00	EA	\$ 1,113.00	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -
5	Mobilization to Cut Preexisting Lateral in Pipe W/O CIPP Lining	2.00	EA	\$ 2,795.00	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -
6	Top Hat Lateral Repair	3.00	EA	\$ 4,219.00	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -
7	Mobilization for Top Hat Lateral Repair in Pipe W/O CIPP Lining	3.00	EA	\$ 2,732.00	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -	0.00	EA	0%	\$ -
TOTAL CONTRACT				\$ 309,103.00	EARNED PRIOR PERIOD	\$ -	EARNED TO DATE	\$ 254,479.00	EARNED CURRENT PERIOD	\$ 254,479.00	Prior Period Gross	\$ -	ETD Gross	\$ 254,479.00	Current Period Gross	\$ 254,479.00
					Prior Period Retention	\$ -	ETD Retention	\$ 12,723.95	Current Period Retention	\$ 12,723.95	Prior Period Open	\$ -	ETD Open	\$ 241,755.05	Current Period Open	\$ 241,755.05
					Customer Number						Retention %	5%	AMOUNT DUE			
										THIS ESTIMATE:			\$ 241,755.05			

PROJECT NAME: PLEASANT GROVE 2600 NORTH ROADWAY IMPROVEMENTS
 CONTRACTOR: STAKER PARSON MATERIALS AND CONSTRUCTION, A CRH Company
 89 West 13490 South, Ste. 100
 Draper, Utah 84020
 (385) 214-6186

DATE: NOVEMBER 2, 2023
 ESTIMATE CLOSING: Nov. 1, 2023
 PARTIAL ESTIMATE NO. 5

INVOICE NO. 213151

CONTRACTOR'S APPLICATION FOR PAYMENT

	CUMULATIVE	PREVIOUS PERIOD	CURRENT PERIOD
SCHEDULE NO. 1 - BASE BID			
ORIGINAL CONTRACT AMOUNT	\$6,230,865.00		
NET CHANGE TO SCHEDULE NO. 1 BY CHANGE ORDERS	\$161,232.50	\$161,232.50	\$0.00
CURRENT CONTRACT AMOUNT (INC. CHANGE ORDERS)	\$6,392,097.50		
SCHEDULE NO. 1 - SUBTOTAL WORK COMPLETED TO DATE	\$3,269,806.79	\$2,350,979.42	\$918,827.36
COMPLETE PROJECT			
ORIGINAL CONTRACT AMOUNT	\$6,230,865.00		
NET CHANGE BY CHANGE ORDERS	\$161,232.50	\$161,232.50	\$0.00
CURRENT CONTRACT AMOUNT	\$6,392,097.50		
TOTAL WORK COMPLETED TO DATE	\$3,269,806.79		
RETENTION (5 PERCENT)	\$163,490.34		
TOTAL LESS RETENTION	\$3,106,316.45		
LESS PREVIOUS PAYMENTS	\$2,235,430.45		
LESS LIQUIDATED DAMAGES	\$0.00		
LESS PAYMENT FOR MATERIALS ON HAND	\$0.00		
NET PAYMENT TO CONTRACT	\$872,885.99		
SUMMARY OF CHANGE ORDERS			
TOTAL CHANGE ORDERS	BID SCHEDULE	ADDITION	DELETION
CO NO. 1-A - MILL AND FILL WEST PROJECT LIMIT TO AF CITY LIMIT	SCHEDULE 1	\$261,302.50	-\$100,070.00
CO NO. 1-B - ADD CUSTOM BUSINESS ACCESS SIGNS	SCHEDULE 1	\$42,321.20	\$0.00
CO NO. 1-C - NIXON ABANDON SEPTIC AND CONNECT SEWER	SCHEDULE 1	\$1,793.00	\$0.00
CO NO. 1-D - 180 WEST SIDEWALK	SCHEDULE 1	\$16,456.00	\$0.00
CO NO. 2-A - ABANDON OLIPHANT - NICKELL IRRIGATION LATERAL	SCHEDULE 1	\$31,832.55	\$0.00
CO NO. 2-B - ADDED CITY UTILITY WORK	SCHEDULE 1	\$26,707.15	-\$100,070.00
CO NO. 2-C PETERSON DETENTION BASIN	SCHEDULE 1	\$28,588.00	\$0.00
		\$113,604.60	\$0.00

WE CERTIFY THE ABOVE IS A TRUE STATEMENT OF WORK COMPLETE

APPROVED BY:
 CONTRACTOR'S REPRESENTATIVE

RECOMMENDED BY:
 RESIDENT ENGINEER

APPROVED BY:
 PLEASANT GROVE CITY - PROJECT MANAGER

APPROVED BY:
 PLEASANT GROVE CITY - MAYOR

Victoria Guerrero
 Digitally signed by Victoria Guerrero
 DN: cn=Victoria Guerrero, o=Staker Parson, c=US

Scott Hendricks

Britton Iveten 2023.11.02 13:16:36-06'00'

BY: VICTORIA GUERRERA
 TITLE: STAKER PARSON PROJECT MANAGER
 DATE: 11/02/2023

BY: SCOTT HENDRICKS
 TITLE: RESIDENT ENGINEER
 DATE: 11/02/2023

BY: BRITTON IVETEN
 TITLE: STAFF ENGINEER / PROJECT MANAGER
 DATE: 11/02/2023

BY: GUY FUGAL
 TITLE: PLEASANT GROVE CITY MAYOR
 DATE:

BY:
 TITLE:
 DATE:

Bid Item	PLAN SYMBOL	Activity ID	Estimated Value	Quantity	Amount in \$	Remaining Work									
Bid #	PLAN SYMBOL	Activity ID	COMPLETE?	Unit Cost	Est Qty	Item Unit	Est. Cost	From Prev.	Current	Cummulative	From Prev.	Current	Cummulative	Quantity	Value
ROADWAY / EARTHWORK															
01	0101	MOBILIZATION		\$500,000.00	1	LUMP	\$ 500,000.00	0.55	0.00	0.55	\$ 275,000.00	\$ -	\$ 275,000.00	0	\$ 275,000.00
02	0102	TRAFFIC CONTROL		\$187,550.00	1	LUMP	\$ 187,550.00	0.38	0.14	0.52	\$ 69,389.00	\$ 25,557.00	\$ 94,926.00	0	\$ 87,624.00
03	0103	PUBLIC INFORMATION SERVICES		\$5,175.00	1	LUMP	\$ 5,175.00	0.38	0.14	0.52	\$ 1,966.50	\$ 724.50	\$ 2,691.00	0	\$ 2,484.00
04	0104	SURVEY		\$98,400.00	1	LUMP	\$ 98,400.00	0.38	0.14	0.52	\$ 37,392.00	\$ 13,776.00	\$ 51,168.00	0	\$ 47,232.00
05	0105	REMOVE ASPHALT PAVEMENT (PLAN QUANTITY)		\$5.55	22,675	SQ. YD.	\$ 125,846.25	16343.70	0.00	16343.70	\$ 90,707.54	\$ -	\$ 90,707.54	6.606	\$ 35,138.72
		CD NO. 1-0 EXTEND REMOVE ASPHALT PAVEMENT QUANTITY		\$5.55	275	SO. YD.	\$ 1,526.25								
		CD NO. 2-4 EXTEND REMOVE ASPHALT PAVEMENT QUANTITY		\$5.55	18	SG. YD.	\$ 101.10								
06	0106	REMOVE CURB AND GUTTER		\$9.35	547	FOOT	\$ 5,114.45	748.00	30.00	278.00	\$ 2,318.80	\$ 280.50	\$ 2,599.30	339	\$ 3,169.65
		CD NO. 1-0 EXTEND REMOVE CURB AND GUTTER QUANTITY		\$9.35	78	FOOT	\$ 730.50								
		CD NO. 2-4 EXTEND REMOVE CURB AND GUTTER QUANTITY		\$9.35	29	FOOT	\$ 271.15								
07	0107	REMOVE CONCRETE SIDEWALK		\$1.55	3,500	SQ. FT.	\$ 5,425.00	936.00	70.00	1006.00	\$ 1,450.80	\$ 108.50	\$ 1,559.30	2,494	\$ 3,865.70
		CD 2-4 EXTEND REMOVE CONCRETE SIDEWALK		\$1.55	210	SQ. FT.	\$ 328.50								
08	0108	REMOVE CONCRETE WATERWAY	COMPLETE	\$1.75	550	SQ. FT.	\$ 962.50	450.00	0.00	450.00	\$ 787.50	\$ -	\$ 787.50	100	\$ -
09	0109	REMOVE CONCRETE DRIVEWAY		\$1.95	10,508	SQ. FT.	\$ 20,490.60	4931.00	1,497.50	6428.50	\$ 9,615.45	\$ 2,920.13	\$ 12,535.58	4,080	\$ 7,955.03
010	0110	24 INCH CONCRETE CURB AND GUTTER		\$40.75	1,055	FOOT	\$ 42,991.25	864.75	20.00	884.75	\$ 35,238.56	\$ 815.00	\$ 36,053.56	170	\$ 6,937.69
		CD 2-4 EXTEND 24 INCH CONCRETE CURB AND GUTTER		\$40.75	25	FOOT	\$ 1,018.75								
011	0111	30 INCH CONCRETE CURB AND GUTTER		\$41.40	5,788	FOOT	\$ 239,613.20	1805.50	1,510.67	3316.17	\$ 74,747.70	\$ 62,541.60	\$ 137,289.30	2,542	\$ 102,333.90
		CD NO. 1-0 EXTEND 30 INCH CONCRETE CURB AND GUTTER QUANTITY		\$41.40	70	SO. YD.	\$ 2,898.00								
012	0112	CONCRETE SIDEWALK		\$8.60	29,108	SQ. FT.	\$ 250,228.80	1373.10	5,888.20	7261.30	\$ 11,808.66	\$ 50,638.52	\$ 62,447.18	27,522	\$ 187,881.62
		CD NO. 1-0 EXTEND CONCRETE SIDEWALK QUANTITY		\$8.60	475	SQ. FT.	\$ 4,085.00								
		CD NO. 2-4 EXTEND CONCRETE SIDEWALK QUANTITY		\$8.60	285	SQ. FT.	\$ 2,451.00								
013	0113	CONCRETE CURB WALL		\$25.30	900	FOOT	\$ 22,650.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	500	\$ 12,650.00
014	0114	CORNER PEDESTRIAN ACCESS RAMP		\$4,025.00	9	EACH	\$ 36,225.00	1.00	3.00	4.00	\$ 4,025.00	\$ 12,075.00	\$ 16,100.00	6	\$ 20,125.00
		CD NO. 1-0 EXTEND CORNER PEDESTRIAN ACCESS RAMP QUANTITY		\$4,025.00	1	EACH	\$ 4,025.00								
015	0115	PERPENDICULAR PEDESTRIAN ACCESS RAMP		\$3,450.00	3	EACH	\$ 10,350.00	0.00	1.00	1.00	\$ -	\$ 3,450.00	\$ 3,450.00	2	\$ 6,900.00
016	0116	CONCRETE DRIVEWAY 6 INCH THICK		\$10.90	12,650	SQ. FT.	\$ 137,885.00	511.50	1,110.90	1622.40	\$ 5,575.35	\$ 12,108.81	\$ 17,684.16	11,028	\$ 120,200.84
017	0117	CONCRETE DRIVEWAY 7 INCH THICK		\$13.20	1,350	SQ. FT.	\$ 17,720.00	176.00	0.00	176.00	\$ 2,323.20	\$ -	\$ 2,323.20	1,174	\$ 15,496.80
018	0118	ASPHALT DRIVEWAY		\$6.10	22,000	SQ. FT.	\$ 134,200.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	22,000	\$ 134,200.00
019	0119	GRAVEL DRIVEWAY		\$3.40	10,000	SQ. FT.	\$ 34,000.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	10,000	\$ 34,000.00
020	0120	GRANULAR BODDROW (SOFT SPOT REPAIR)		\$73.05	500	CU. YD.	\$ 36,525.00	43.00	0.00	43.00	\$ 3,141.15	\$ -	\$ 3,141.15	457	\$ 33,383.85
021	0121	OVER EXCAVATION (SOFT SPOT REPAIR)		\$31.15	500	CU. YD.	\$ 15,575.00	43.00	0.00	43.00	\$ 1,339.45	\$ -	\$ 1,339.45	457	\$ 14,235.55
022	0122	ROADWAY EXCAVATION (PLAN QUANTITY)		\$49.35	6,480	CU. YD.	\$ 319,788.00	4616.00	0.00	4616.00	\$ 227,799.60	\$ -	\$ 227,799.60	1,864	\$ 91,988.40
023	0123	UNTREATED BASE COURSE (PLAN QUANTITY)		\$53.80	5,543	CU. YD.	\$ 298,213.40	2126.32	0.00	2126.32	\$ 114,396.02	\$ -	\$ 114,396.02	3,478	\$ 183,817.38
		CD NO. 1-0 EXTEND UNTREATED BASE COURSE (PLAN QUANTITY) QUANTITY		\$53.80	21	CU. YD.	\$ 1,130.40								
		CD NO. 2-4 EXTEND UNTREATED BASE COURSE (PLAN QUANTITY) QUANTITY		\$53.80	8	CU. YD.	\$ 430.40								
		IF CD quantity reflects an estimated total of 544,832.00 existing base material in place to date													
024	0124	HMA - 1 1/2 INCH (Include sub base, inc. for deficient thickness subbase)		\$119.00	6,357	TON	\$ 756,483.00	0.00	2,762.47	2,762.47	\$ -	\$ 328,733.93	\$ 328,733.93	3,951	\$ 427,749.07
		CD NO. 1-4 EXTEND HMA - 1 1/2 INCH QUANTITY		\$119.00	230	TON	\$ 27,370.00								
		CD NO. 1-0 EXTEND HMA - 1 1/2 INCH QUANTITY		\$119.00	16	TON	\$ 1,904.00								
		CD NO. 2-4 EXTEND HMA - 1 1/2 INCH QUANTITY		\$119.00	10	TON	\$ 1,190.00								
025	0125	RELOCATE MAIL BOX		\$192.00	21	EACH	\$ 4,032.00	1.00	0.00	1.00	\$ 192.00	\$ -	\$ 192.00		\$ 3,840.00
026	0126	RECONSTRUCT MANHOLE (inc. 4 additional manholes in the mill and overlay zone)		\$1,020.00	22	EACH	\$ 22,440.00	0.00	14.00	14.00	\$ -	\$ 14,280.00	\$ 14,280.00	10	\$ 18,360.00
027	0127	RECONSTRUCT VALVE BOX (inc. 2 additional valves in the mill and overlay zone, and 2 additional found / City added valves)		\$862.00	25	EACH	\$ 21,550.00	0.00	29.00	29.00	\$ -	\$ 24,998.00	\$ 24,998.00	10	\$ 8,620.00
028	0128	RECONSTRUCT SURVEY MONUMENT		\$1,725.00	2	EACH	\$ 3,450.00	0.00	1.00	1.00	\$ -	\$ 1,725.00	\$ 1,725.00	1	\$ 1,725.00
029	0129	RELOCATE STREET LIGHT		\$5,750.00	1	EACH	\$ 5,750.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 5,750.00
030	0130	REMOVE AND SALVAGE GUARDRAIL AND END SECTIONS	COMPLETE	\$34.70	205	FOOT	\$ 7,113.50	205.00	0.00	205.00	\$ 7,113.50	\$ -	\$ 7,113.50	0	\$ -
031	0131	GEOTEXTILE - STABILIZATION		\$1.85	1,500	SG. YD.	\$ 2,775.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1,500	\$ 2,775.00
032	0132	GEOGRID		\$10.60	1,500	SG. YD.	\$ 15,900.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1,500	\$ 15,900.00
033	0133	REMOVE CONCRETE DITCH		\$27.90	800	FOOT	\$ 22,320.00	968.50	0.00	968.50	\$ 27,021.15	\$ -	\$ 27,021.15	(168)	\$ -
034	0134	REMOVE FENCE		\$11.50	250	FOOT	\$ 2,875.00	8.00	0.00	8.00	\$ 92.00	\$ -	\$ 92.00	262	\$ 2,783.00
		CD NO. 1-0 EXTEND REMOVE FENCE QUANTITY		\$11.50	22	FOOT	\$ 253.00								
035	0135	RELOCATE VINYL PICKET FENCE		\$40.60	150	FOOT	\$ 6,090.00	40.00	0.00	40.00	\$ 2,424.00	\$ -	\$ 2,424.00	110	\$ 6,666.00
036	0136	RELOCATE CHAIN LINK FENCE		\$43.35	350	FOOT	\$ 15,172.50	0.00	0.00	0.00	\$ -	\$ -	\$ -	350	\$ 15,172.50
037	0137	RELOCATE VINYL FENCE		\$60.60	350	FOOT	\$ 21,210.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	350	\$ 21,210.00
038	0138	6 FT VINYL PRIVACY FENCE		\$60.60	150	FOOT	\$ 9,090.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	150	\$ 9,090.00
039	0139	SALVAGE AND RE-LAY BRICK PAVERS		\$11.50	100	SQ. FT.	\$ 1,150.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	100	\$ 1,150.00
040	0140	REMOVE CONCRETE STAIRS		\$11.80	60	SQ. FT.	\$ 708.00	16.00	0.00	16.00	\$ 188.80	\$ -	\$ 188.80	44	\$ 519.20
041	0141	RELOCATE STEEL PERICOLA		\$2,005.00	1	EACH	\$ 2,005.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 2,005.00
042	0142	REMOVE ASPHALT DRIVEWAY		\$5.55	2,800	SQ. YD.	\$ 15,520.00	863.70	0.00	863.70	\$ 4,879.91	\$ -	\$ 4,879.91	1,936	\$ 10,940.10
043	0143	CONCRETE DRIVEWAY 4 INCH THICK		\$8.60	14,500	SQ. FT.	\$ 124,700.00	114.50	0.00	114.50	\$ 984.70	\$ -	\$ 984.70	14,386	\$ 123,715.30
044	0144	CONCRETE STAIRS		\$69.00	100	SQ. FT.	\$ 6,900.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	100	\$ 6,900.00
045	0145	ASPHALT CURB		\$62.25	50	FOOT	\$ 3,112.50	0.00	0.00	0.00	\$ -	\$ -	\$ -	50	\$ 3,112.50
046	0146	3 RAIL VINYL FENCE		\$31.85	325	FOOT	\$ 10,351.25	0.00	0.00	0.00	\$ -	\$ -	\$ -	325	\$ 10,351.25
047	0147	4 FT. CHAIN LINK DOUBLE GATE (W = 16'-0")		\$1,725.00	1	EACH	\$ 1,725.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 1,725.00
048	0148	RECONSTRUCT LANDSCAPE BLOCK BORDER WALL		\$46.00	75	SQ. FT.	\$ 3,450.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	75	\$ 3,450.00
049	0149					NOT USED									
050	0150	RELOCATE CORRAL PANEL FENCE		\$57.50	85	FEET	\$ 4,887.50	0.00	0.00	0.00	\$ -	\$ -	\$ -	85	\$ 4,887.50
SUBTOTAL ROADWAY / EARTHWORK							\$ 3,689,823.40				\$ 1,011,898.33	\$ 554,732.49	\$ 1,566,630.81		\$ 2,085,016.54

Bid Item	PLAN SYMBOL	Activity ID	COMPLETE?	Estimated Value			Quantity			Amount in \$			Remaining Work		
				Unit Cost	Est Qty	Item Unit	Est. Cost	From Prev.	Current	Cummulative	From Prev.	Current	Cummulative	Quantity	Value
LANDSCAPING															
051	0201	CLEARING AND GRUBBING (Includes all tree and stump removals, trimming)		\$189,050.00	1	LUMP	\$ 189,050.00	0.50	0.00	0.50	\$ 94,525.00	\$ -	\$ 94,525.00	1	\$ 94,525.00
052	0202	LANDSCAPE COBBLE		\$54.30	300	SQ. YD.	\$ 16,290.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	300	\$ 16,290.00
053	0203	WOOD FIBER MULCH (PLAN QUANTITY)		\$5.00	3,200	SQ. YD.	\$ 16,000.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	3,200	\$ 16,000.00
054	0204	BROADCAST SEED (PLAN QUANTITY)		\$4.60	3,200	SQ. YD.	\$ 14,720.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	3,200	\$ 14,720.00
055	0205	CONCRETE MOW STRIP		\$20.35	250	FOOT	\$ 5,087.50	0.00	0.00	0.00	\$ -	\$ -	\$ -	250	\$ 5,087.50
056	0206	TURF SOG		\$19.10	2,000	SQ. YD.	\$ 38,200.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2,000	\$ 38,200.00
		CO NO. 2-A EXTEND TURF SOG		\$19.10	25	SQ. YD.	\$ 477.50								
057	0207	SPRINKLER SYSTEM MODIFICATION		\$27.15	4,000	SQ. YD.	\$ 108,600.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	4,000	\$ 108,600.00
058	0208	LANDSCAPE RESTORATION		\$44.40	1,600	SQ. YD.	\$ 71,040.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1,600	\$ 71,040.00
059	0209	CONTRACTOR FURNISHED TOPSOIL, 4 INCH THICK		\$13.80	3,600	SQ. YD.	\$ 49,680.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	3,600	\$ 49,680.00
		CO NO. 2-A EXTEND CONTRACTOR FURNISHED TOPSOIL, 4 INCH THICK		\$13.80	30	SQ. YD.	\$ 414.00								
060	0210	TREE - PRAIRIE FIRE CRABAPPLE, 2 INCH CALIPER		\$575.00	2	EACH	\$ 1,150.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2	\$ 1,150.00
061	0211	SHRUB - 2 GALLON		\$57.50	20	EACH	\$ 1,150.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	20	\$ 1,150.00
SUBTOTAL LANDSCAPING							\$ 511,972.50				\$ 94,525.00	\$ -	\$ 94,525.00		\$ 416,447.50
STORM DRAIN / IRRIGATION															
062	0301	REMOVE PIPE		\$23.00	2,100	FOOT	\$ 48,300.00	1277.25	82.00	1359.25	\$ 29,376.75	\$ 1,886.00	\$ 31,262.75	741	\$ 17,037.25
		CO NO. 2-C REMOVE PIPE		\$23.00	40	FOOT	\$ 920.00								
063	0302	ABANDON PIPE/FLOW FILL		\$403.00	200	CU. YD.	\$ 80,600.00	9.25	0.00	9.25	\$ 3,727.75	\$ -	\$ 3,727.75	191	\$ 76,872.25
		CO NO. 2-A EXTEND ABANDON PIPE/FLOW FILL		\$403.00	25	CU. YD.	\$ 10,075.00								
064	0303	REMOVE IRRIGATION DIVERSION BOX		\$748.00	8	EACH	\$ 5,984.00	7.00	0.00	7.00	\$ 5,236.00	\$ -	\$ 5,236.00	1	\$ 748.00
		CO NO. 2-A EXTEND REMOVE IRRIGATION DIVERSION BOX		\$748.00	3	EACH	\$ 2,244.00								
065	0304	REMOVE MANHOLE	COMPLETE	\$1,380.00	1	EACH	\$ 1,380.00	1.00	0.00	1.00	\$ 1,380.00	\$ -	\$ 1,380.00	0	\$ -
066	0305	CATCH BASIN	COMPLETE	\$8,000.00	12	EACH	\$ 96,000.00	10.00	3.00	13.00	\$ 80,000.00	\$ 24,000.00	\$ 104,000.00	(1)	\$ -
067	0306	COMBINATION INLET BOX	COMPLETE	\$11,600.00	3	EACH	\$ 34,800.00	2.00	1.00	3.00	\$ 23,200.00	\$ 11,600.00	\$ 34,800.00	0	\$ -
068	0307	STORM DRAIN MANHOLE	COMPLETE	\$11,600.00	3	EACH	\$ 34,800.00	3.00	0.00	3.00	\$ 34,800.00	\$ -	\$ 34,800.00	0	\$ -
069	0308	MODIFY STORM DRAIN MANHOLE	COMPLETE	\$6,445.00	2	EACH	\$ 12,890.00	2.00	0.00	2.00	\$ 12,890.00	\$ -	\$ 12,890.00	0	\$ -
070	0309	IRRIGATION DIVERSION BOX		\$11,500.00	4	EACH	\$ 46,000.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	4	\$ 46,000.00
		CO NO. 2-A REMOVE IRRIGATION DIVERSION BOX		\$11,500.00	(9)	EACH	\$ (94,500.00)								
071	0310	MODIFY IRRIGATION DIVERSION BOX	COMPLETE	\$5,755.00	1	EACH	\$ 5,755.00	2.00	0.00	2.00	\$ 11,510.00	\$ -	\$ 11,510.00	(1)	\$ -
072	0311	15 INCH WATERMAN C-10 NON-RISING STEM SCREW GATE		\$3,455.00	4	EACH	\$ 13,820.00								
		CO NO. 2-A ELIMINATE 15 INCH WATERMAN C-10 SCREW GATE		\$3,455.00	(4)	EACH	\$ (13,820.00)								
ITEM ELIMINATED CO 2-A															
073	0312	15 INCH WATERMAN C-2 SLIDE GATE		\$2,800.00	2	EACH	\$ 5,600.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2	\$ 5,600.00
074	0313	18 INCH REINFORCED CONCRETE PIPE	COMPLETE	\$403.00	296	FOOT	\$ 119,288.00	289.00	0.00	289.00	\$ 116,467.00	\$ -	\$ 116,467.00	7	\$ 2,821.00
075	0314	15 INCH REINFORCED CONCRETE PIPE	COMPLETE	\$207.00	1,488	FOOT	\$ 308,016.00	635.66	534.74	1,170.40	\$ 131,581.62	\$ 110,691.18	\$ 242,272.80	318	\$ 65,743.20
		CO NO. 2-A REMOVE 15 INCH REINFORCED CONCRETE PIPE		\$207.00	(250)	FOOT	\$ (51,750.00)								
076	0315	15 INCH HDPE	COMPLETE	\$299.00	200	FOOT	\$ 59,800.00	194.00	5.50	199.50	\$ 58,006.00	\$ 1,644.50	\$ 59,650.50	1	\$ 1,149.50
077	0316	EXTEND CANAL CULVERT													
		NOT USED													
078	0317	EXTEND CANAL CULVERT		\$115,100.00	1	LUMP	\$ 115,100.00	0.80	0.15	0.95	\$ 92,080.00	\$ 17,265.00	\$ 109,345.00	0	\$ 5,755.00
079	0318	18 INCH CONCRETE END SECTION		\$1,725.00	1	EACH	\$ 1,725.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 1,725.00
080	0319	TRASH RACK FOR 18 INCH CONCRETE END SECTION		\$1,035.00	1	EACH	\$ 1,035.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 1,035.00
081	0320	REMOVE CATCH BASIN	COMPLETE	\$863.00	2	EACH	\$ 1,726.00	2.00	0.00	2.00	\$ 1,726.00	\$ -	\$ 1,726.00	0	\$ -
SUBTOTAL STORM DRAIN / IRRIGATION							\$ 909,923.00				\$ 601,981.12	\$ 167,086.68	\$ 769,067.80		\$ 154,992.50
CITY UTILITIES															
082	0401	RELOCATE AND REPLACE FIRE HYDRANT	COMPLETE	\$11,500.00	9	EACH	\$ 103,500.00	8.00	1.00	9.00	\$ 92,000.00	\$ 11,500.00	\$ 103,500.00	0	\$ -
083	0402	RELOCATE PRESSURIZED IRRIGATION SERVICE		\$5,755.00	39	EACH	\$ 224,445.00	23.00	15.00	38.00	\$ 132,365.00	\$ 86,325.00	\$ 218,690.00	1	\$ 5,755.00
084	0403	RELOCATE CULINARY SERVICE CONNECTION		\$5,525.00	40	EACH	\$ 221,000.00	22.00	1.00	23.00	\$ 121,550.00	\$ 5,525.00	\$ 127,075.00	17	\$ 93,925.00
085	0404	1 1/2 INCH PRESSURIZED IRRIGATION SERVICE		\$9,785.00	3	EACH	\$ 29,355.00	2.00	0.00	2.00	\$ 19,570.00	\$ -	\$ 19,570.00	1	\$ 9,785.00
086	0405	2 INCH PRESSURIZED IRRIGATION SERVICE		\$10,450.00	2	EACH	\$ 20,900.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2	\$ 20,900.00
087	0406	SAMPLING HYDRANT		\$17,650.00	2	EACH	\$ 35,300.00	1.00	0.00	1.00	\$ 12,650.00	\$ -	\$ 12,650.00	1	\$ 12,650.00
088	0407	BRASS TAPPING SADDLE		\$1,265.00	79	EACH	\$ 99,935.00	51.00	15.00	66.00	\$ 64,515.00	\$ 18,975.00	\$ 83,490.00	13	\$ 16,445.00
089	0408														
090	0409														
091	0410	LOOP 10 INCH WATER LINE	COMPLETE	\$19,550.00	3	EACH	\$ 58,650.00								
092	0411	4 INCH PI DRAIN (Reflects correction for incorrect measurement and compensation on PE R)	COMPLETE	\$115.00	160	FOOT	\$ 18,400.00	158.00	-77.00	81.00	\$ 18,170.00	\$ (8,555.00)	\$ 9,615.00	79	\$ -
093	0412	PIPE CRADLE / BRIDGE (Contingency Item - Only 1 used)	COMPLETE	\$2,875.00	3	EACH	\$ 8,625.00	1.00	0.00	1.00	\$ 2,875.00	\$ -	\$ 2,875.00	2	\$ -
094	0413														
095	0414														
096	0415	FIRE HYDRANT	COMPLETE	\$21,850.00	2	EACH	\$ 43,700.00	2.00	0.00	2.00	\$ 43,700.00	\$ -	\$ 43,700.00	0	\$ -
SUBTOTAL CITY UTILITIES							\$ 859,810.00				\$ 507,395.00	\$ 113,470.00	\$ 620,865.00		\$ 159,460.00
STRUCTURE															
097	0501	REMOVE CONCRETE WALL		\$60.90	250	FOOT	\$ 15,225.00	0.00	80.00	80.00	\$ -	\$ 4,872.00	\$ 4,872.00	170	\$ 10,353.00
098	0502	REMOVE MASONRY WALL		\$28.45	100	FOOT	\$ 2,845.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	100	\$ 2,845.00
099	0503	SALVAGE AND REBUILD STACKED BOULDER WALL		\$34.50	700	SQ. FT.	\$ 24,150.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	700	\$ 24,150.00
0100	0504	DRY STACK BOULDER WALL		\$28.75	3,500	SQ. FT.	\$ 100,625.00	608.00	1,709.75	2,317.75	\$ 17,480.00	\$ 49,155.20	\$ 66,635.20	1,182	\$ 33,989.80
0101	0505	ADJUST MASONRY FENCE POST / COLUMN TO GRADE		\$4,025.00	1	EACH	\$ 4,025.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 4,025.00
0102	0506														
		NOT USED													
0103	0507	DRIVEWAY TURN DOWN WALL		\$53.25	300	SQ. FT.	\$ 15,975.00								
SUBTOTAL STRUCTURE							\$ 162,645.00				\$ 17,480.00	\$ 54,027.20	\$ 71,507.20		\$ 75,362.80
ITEM ELIMINATED BY AGREEMENT WITH HOMEOWNER															

Bid Item Bid #	PLAN SYMBOL	Activity ID	COMPLETE?	Estimated Value			Quantity			Amount in \$			Remaining Work						
				Unit Cost	Est Qty	Item Unit	Est. Cost	From Prev.	Current	Cummulative	From Prev.	Current	Cummulative	Quantity	Value				
SIGNING / STRIPING																			
0104	0601	REMOVE SIGN		\$97.75	1	EACH	\$ 97.75	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 97.75				
0105	0602	RELOCATE SIGN		\$259.00	6	EACH	\$ 1,554.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	6	\$ 1,554.00				
0106	0603	SIGN TYPE A-2, 30 INCH X 30 INCH (W11-2)		\$489.00	6	EACH	\$ 2,934.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	6	\$ 2,934.00				
0107	0604	SIGN TYPE A-2, 24 INCH X 12 INCH (W16-7P)		\$132.00	5	EACH	\$ 660.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	5	\$ 660.00				
0108	0605	REMOVE PAVEMENT MARKINGS		\$0.60	2,000	FOOT	\$ 1,200.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2,000	\$ 1,200.00				
0109	0606	PAVEMENT MARKING PAINT		\$45.35	230	GAL.	\$ 10,430.50	0.00	0.00	0.00	\$ -	\$ -	\$ -	230	\$ 10,430.50				
0110	0607	PAVEMENT MESSAGE PAINT		\$30.30	116	EACH	\$ 3,514.80	0.00	0.00	0.00	\$ -	\$ -	\$ -	116	\$ 3,514.80				
0111	0608	RECTANGULAR RAPID FLASHING BEACON (SOLAR)		\$15,850.00	2	EACH	\$ 31,700.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2	\$ 31,700.00				
SUBTOTAL SIGNING / STRIPING							\$ 52,091.05				\$ -	\$ -	\$ -		\$ 52,091.05				
TEMPORARY CONTROLS																			
0112	0701																		
NOT USED																			
0113	0702	SILT FENCE		\$3.35	6,625	FOOT	\$ 22,193.75	1327.50	20.00	1347.50	\$ 4,447.13	\$ 67.00	\$ 4,514.13	5,278	\$ 17,675.63				
0114	0703	GLITTER INLET BARRIER		\$207.00	30	EACH	\$ 6,210.00	13.00	0.00	13.00	\$ 2,691.00	\$ -	\$ 2,691.00	17	\$ 3,519.00				
0115	0704	EROSION CONTROL BLANKET		\$3.40	1,700	SQ. YD.	\$ 5,780.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1,700	\$ 5,780.00				
SUBTOTAL TEMPORARY CONTROLS							\$ 34,183.75				\$ 7,138.13	\$ 67.00	\$ 7,205.13		\$ 26,978.63				
CHANGE ORDER NO. 1-A - MILL AND FILL WEST PROJECT LIMIT TO AMERICAN FORK CITY LIMIT																			
0116		ROTO Mills - 1 INCH	COMPLETE	\$2.28	3,090	SQ. YD.	\$ 7,045.20	3090.00	0.00	3090.00	\$ 7,045.20	\$ -	\$ 7,045.20	0	\$ -				
0117		TRAFFIC CONTROL - CHANGE ORDER 1A ADDED WORK	COMPLETE	\$766.00	1	DAY	\$ 766.00	1.00	0.00	1.00	\$ 766.00	\$ -	\$ 766.00	0	\$ -				
SUBTOTAL CHANGE ORDER NO. 1-A - MILL AND FILL WEST PROJECT LIMIT TO AMERICAN FORK CITY LIMIT							\$ 7,811.20				\$ 7,811.20	\$ -	\$ 7,811.20		\$ -				
CHANGE ORDER NO. 1B - ADD CUSTOM BUSINESS ACCESS SIGNS FOR TRAFFIC CONTROL																			
0118		CUSTOM TRAFFIC CONTROL SIGN - 48 INCH X 48 INCH	COMPLETE	\$448.25	4	EACH	\$ 1,793.00	4.00	0.00	4.00	\$ 1,793.00	\$ -	\$ 1,793.00	0	\$ -				
SUBTOTAL CHANGE ORDER NO. 1-B - ADD CUSTOM BUSINESS ACCESS SIGNS FOR TRAFFIC CONTROL							\$ 1,793.00				\$ 1,793.00	\$ -	\$ 1,793.00		\$ -				
CHANGE ORDER NO. 1-C - NIXON ABANDON SEPTIC AND CONNECT SEWER																			
0119		ABANDON SEPTIC SYSTEM & CONNECT TO SEWER LATERAL	COMPLETE	\$4,606.00	1	LUMP	\$ 4,606.00	1.00	0.00	1.00	\$ 4,606.00	\$ -	\$ 4,606.00	0	\$ -				
0120		4 INCH SEWER PIPE	COMPLETE	\$79.00	150	FOOT	\$ 11,850.00	150.00	0.00	150.00	\$ 11,850.00	\$ -	\$ 11,850.00	0	\$ -				
SUBTOTAL CHANGE ORDER NO. 1-C - NIXON ABANDON SEWER AND CONNECT SIDEWALK							\$ 16,456.00				\$ 16,456.00	\$ -	\$ 16,456.00		\$ -				
CHANGE ORDER NO. 1-D - 180 WEST SIDEWALK																			
0121		REMOVE AND SALVAGE CORRAL PANEL GATES		\$788.00	1	EACH	\$ 788.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 788.00				
0122		4 FT. FIELD WIRE MESH FENCE WITH SCH 40 STEEL POSTS		\$52.00	40	FOOT	\$ 2,080.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	40	\$ 2,080.00				
0123		TRAFFIC CONTROL - CHANGE ORDER NO. 1-D ADDED WORK		\$2,690.00	1	LUMP	\$ 2,690.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 2,690.00				
SUBTOTAL CHANGE ORDER NO. 1-D - 180 WEST SIDEWALK							\$ 5,558.00				\$ -	\$ -	\$ -		\$ 5,558.00				
CHANGE ORDER NO. 2-A - ABANDON OILPHANT - NICKELL IRRIGATION LATERAL																			
0124		REMOVE AND SALVAGE EXISTING SCREW GATE		\$698.00	2	EACH	\$ 1,396.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	2	\$ 1,396.00				
0125		SAW CUT AND REMOVE DIVERSION BOX TOP		\$2,782.00	3	EACH	\$ 8,346.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	3	\$ 8,346.00				
0126		REMOVE PRECAST DIVERSION BOX TOP		\$304.00	4	EACH	\$ 1,216.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	4	\$ 1,216.00				
SUBTOTAL CHANGE ORDER NO. 2-A - ABANDON OILPHANT - NICKELL IRRIGATION LATERAL							\$ 10,958.00				\$ -	\$ -	\$ -		\$ 10,958.00				
CHANGE ORDER NO. 2-B - ADDED CITY UTILITY WORK																			
0127		INSTALL CITY FURNISHED WATER VALVE (OPEN EXCAVATION)		\$855.00	8	EACH	\$ 6,840.00	5.00	1.00	6.00	\$ 4,275.00	\$ 855.00	\$ 5,130.00	2	\$ 1,710.00				
0128		INSTALL CITY FURNISHED WATER VALVE (INC. EXCAV. AND BACKFILL)		\$1,100.00	5	EACH	\$ 5,500.00	3.00	0.00	3.00	\$ 3,300.00	\$ -	\$ 3,300.00	2	\$ 2,200.00				
0129		DIRECTED EXPLORATORY / TROUBLESHOOTING CREW TIME		\$677.00	24	EACH	\$ 16,248.00	15.00	2.00	17.00	\$ 10,155.00	\$ 1,354.00	\$ 11,509.00	7	\$ 4,739.00				
SUBTOTAL CHANGE ORDER NO. 2-B ADDED CITY UTILITY WORK							\$ 28,588.00				\$ 17,730.00	\$ 2,209.00	\$ 19,939.00	\$ 11.00	\$ 8,649.00				
CHANGE ORDER NO. 2-C - PETERSON DETENTION BASIN																			
0130		CLEARING AND GRUBBING CO 2-C ADDED WORK	COMPLETE	\$9,700.00	1	LUMP	\$ 9,700.00	1.00	0.00	1.00	\$ 9,700.00	\$ -	\$ 9,700.00	0	\$ -				
0131		INSTALL CITY FURNISHED 18 INCH CONCRETE END SECTION	COMPLETE	\$598.00	1	EACH	\$ 598.00	1.00	0.00	1.00	\$ 598.00	\$ -	\$ 598.00	0	\$ -				
0132		CONTRACTOR FURNISHED 18 INCH REINFORCED CONCRETE PIPE	COMPLETE	\$89.00	24	FOOT	\$ 2,136.00	24.00	0.00	24.00	\$ 2,136.00	\$ -	\$ 2,136.00	0	\$ -				
0133		INSTALL CITY FURNISHED 18 INCH REINFORCED CONCRETE PIPE	COMPLETE	\$59.85	200	FOOT	\$ 11,970.00	201.00	0.00	201.00	\$ 12,029.85	\$ -	\$ 12,029.85	(1)	\$ -				
0134		4 FT. X 4 FT. STORM DRAIN BOX	COMPLETE	\$8,285.00	1	EACH	\$ 8,285.00	1.00	0.00	1.00	\$ 8,285.00	\$ -	\$ 8,285.00	0	\$ -				
0135		OUTLET BOX MODIFICATIONS	COMPLETE	\$11,950.00	1	LUMP	\$ 11,950.00	0.00	0.00	0.00	\$ -	\$ -	\$ -	1	\$ 11,950.00				
0136		EXCAVATION / EMBANKMENT (PLAN QUANTITY)		\$20.95	3,248	EACH	\$ 68,045.60	1624.00	1,300.00	2924.00	\$ 34,022.80	\$ 27,235.00	\$ 61,257.80	324	\$ 6,787.80				
SUBTOTAL CHANGE ORDER NO. 2-C PETERSON DETENTION BASIN							\$ 112,684.60				\$ 66,771.65	\$ 27,235.00	\$ 94,006.65	\$ 324.00	\$ 18,737.80				
TOTAL OF ALL SCHEDULES											\$ 6,392,097.50				\$ 2,350,979.42	\$ 918,827.36	\$ 3,269,806.79		\$ 3,008,618.81

Asphalt Sublots

LOT 0	Avg. Density		lb / cu. ft.											
Mill and Overlay Zone					Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment		
Sublot 0	Sta.	to	Sta.	Offset	to	Offset	Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment
	21+34		26+30	-25		25	27803.0 ft^2			239.89	1.0	\$119.00	\$28,547.48	\$28,547.48
										239.89		\$28,547.48	\$28,547.48	

LOT 1	Avg. Density		151.4 lb / ft^3		lb / cu. ft.									
					Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment		
Sublot	Sta.	to	Sta.	Offset	to	Offset	Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment
Sublot 1	26+30		29+48	-25		0	7950.0 ft^2	3.750 in	153.7 lb / ft^3	190.92	1.0	\$119.00	\$22,719.98	\$22,719.98
Sublot 2	26+30		29+48	0		25	7950.0 ft^2	4.125 in	148.3 lb / ft^3	202.64	1.0	\$119.00	\$24,113.93	\$24,113.93
Sublot 3	29+48		32+65	-25		0	7925.0 ft^2	3.750 in	151.9 lb / ft^3	188.09	1.0	\$119.00	\$22,383.30	\$22,383.30
Sublot 4	29+48		32+65	0		25	7925.0 ft^2	5.583 in	148.2 lb / ft^3	272.21	0.5	\$119.00	\$32,393.15	\$16,196.58
Sublot 5	32+65		35+83	-25		0	7950.0 ft^2	3.750 in	154.1 lb / ft^3	191.42	1.0	\$119.00	\$22,779.11	\$22,779.11
Sublot 6	32+65		35+83	0		25	7950.0 ft^2	3.250 in	151.7 lb / ft^3	163.31	0.5	\$119.00	\$19,434.43	\$9,717.21
Sublot 7	35+83		39+00	-25		0	7925.0 ft^2	4.250 in	150.4 lb / ft^3	211.07	1.0	\$119.00	\$25,117.23	\$25,117.23
Sublot 8	35+83		39+00	0		25	7925.0 ft^2	3.938 in	152.5 lb / ft^3	198.28	1.0	\$119.00	\$23,595.29	\$23,595.29
										1617.95		\$192,536.42	\$166,622.63	

LOT 2	Avg. Density		151.2 lb / cu. ft.											
					Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment		
Sublot	Sta.	to	Sta.	Offset	to	Offset	Area	Thickness	Density	Tons	Pay Factor	Unit Price	Unadjusted Payment	Adjusted Payment
Sublot 1	39+00		41+78	-25		0	6956.3 ft^2	4.000 in	150.2 lb / ft^3	174.14	1.00	\$119.00	\$20,722.44	\$20,722.44
Sublot 2	39+00		41+78	0		25	6956.3 ft^2	4.250 in	153.1 lb / ft^3	188.59	1.00	\$119.00	\$22,442.70	\$22,442.70
Sublot 3	41+78		44+57	-25		0	6956.3 ft^2	3.750 in	153.2 lb / ft^3	166.52	1.00	\$119.00	\$19,815.31	\$19,815.31
Sublot 4	41+78		44+57	0		25	6956.3 ft^2	3.563 in	153.2 lb / ft^3	158.19	0.5	\$119.00	\$18,824.55	\$9,412.27
Sublot 5	44+57		47+35	-25		0	6956.3 ft^2	4.125 in	149.1 lb / ft^3	178.26	1.00	\$119.00	\$21,213.51	\$21,213.51
Sublot 6	44+57		47+35	0		25	6956.3 ft^2	3.750 in	152.9 lb / ft^3	166.19	1.00	\$119.00	\$19,776.51	\$19,776.51
Sublot 7	47+35		50+13	-25		0	6956.3 ft^2	3.938 in	148.6 lb / ft^3	169.59	1.00	\$119.00	\$20,181.35	\$20,181.35
										1201.48		\$142,976.36	\$133,564.09	

City Council Staff Report

November 7, 2023

Item 9A

TEXT AMENDMENT PROPOSAL

REQUEST Request to amend City Code Chapter 19: Signs and Outdoor Advertising.

APPLICANT City of Pleasant Grove

ZONE City Wide

STAFF RECOMMENDATION Approve the proposed amendment to the City Code.

ATTACHMENTS Images

4

Background

In June 2023, St. John's Properties submitted two applications for "pylon" signs to be constructed at two locations in The Grove Zone. Staff reviewed the proposed signs and classified them as monument signs, according to the current definitions in the zoning ordinances. As proposed, the signs extended above what was permitted for monument signs. St. John's Properties then appealed to staff that the proposed "pylon" signs should be classified as freestanding signs and that similar signs had been approved in the past along Pleasant Grove Boulevard. (See page 6-7.)

On August 21, St. John's Properties submitted a code text amendment application to amend the clearance requirement for freestanding signs. Staff and St. John's Properties then discussed staff's recommendation of denial to remove the clearance requirement, and St. John's withdrew their application. Since then, St. John's has continued to meet with Staff to discuss alternatives to their proposed code text amendment.

Analysis

As the sign ordinances have been analyzed, several new sections have been created or updated. The largest changes refer to a section created to define a "Unified Commercial Development" and amending the "Freestanding Signs" to include monument and pole signs, as well as a new type of sign called "pylon signs".

A Unified Commercial Development refers to a geographical area where contiguous properties may adopt a common development name and provide off-premises signage for businesses within that same development without relying on a billboard sign, which is only permitted within 150 feet of the Interstate. As stated in the new proposed ordinance: "The purpose of a Unified Commercial Development sign is to provide adequate advertisement for businesses that are developed as part of a master plan under a common development name. In so doing, off-premises advertisement may be

provided for businesses located within the boundaries of a Unified Commercial Development; it is not the purpose of a Unified Commercial Development sign to provide off-premise advertisement simply for businesses located in other areas outside of the Unified Commercial Development boundaries.”

Particular consideration was directed toward the clearance requirement of pylon signs, and the density and separation requirements of signs constructed as a part of a Unified Commercial Development. While pole signs and billboards have a clearance requirement of 10 feet from the height of the adjacent sidewalk, curb, or street, pylon signs have a clearance requirement of 4 feet. This distinction between the 4-foot clearance of pylon signs versus the 0-foot clearance of monument signs is significant because monument signs are intended for ground-level advertising. Maintaining the 4-foot clearance requirement rather than placing a limit to the minimum size of pylon signs allows for more flexibility in the construction of signs while still maintaining a distinction between monument and pylon signs.

For the density requirements for signs within a Unified Commercial Development, Staff recommends that at least one sign is permitted for every Unified Commercial Development that is from 0 to 11 acres, and an additional sign may be permitted for every 11 acres after. This allows larger developments promote advertisement for businesses that are farther away (but still located within the boundaries of the Unified Commercial Development area) without violating on the off-premises sign requirements, which would otherwise prohibit such signage.

The remaining changes to the sign ordinances, including new figures, are to provide clarity, define terms, and allow for additional flexibility when creating signs.

Recommendation from Staff

Staff recommends approval to amend Section 10-19: Signs and Outdoor Advertising, as proposed by staff.

Recommendation from City Council

Pleasant Grove City Planning Commission took the following action on the described application at their meeting on October 26, 2023.

2. Public Hearing: Code Text Amendment – Section 10-19: Signs and Outdoor Advertising (City Wide) Public Hearing to consider a request from Pleasant Grove City to amend City Code Section 10- 19: Signs and Outdoor Advertising. The applicant is proposing to make changes to the sign ordinances to permit two new signs in The Grove Zone.

RECOMMEND APPROVAL

Motion: At the Public Hearing, Commissioner Martineau moved the Planning Commission forward a recommendation of approval to the City Council for the request of Pleasant Grove City for the proposed amendments to City Code Chapter 19: Signs and Outdoor Advertising; and adopting the exhibits, conditions, and findings of the staff report, semantic corrections as identified in the discussion that 10-19-4-1A is reviewed with Staff, the City Attorney and the Previous Applicant.

Commissioner Redding seconded the motion. The Commissioners unanimously voted "Aye". The motion carried.

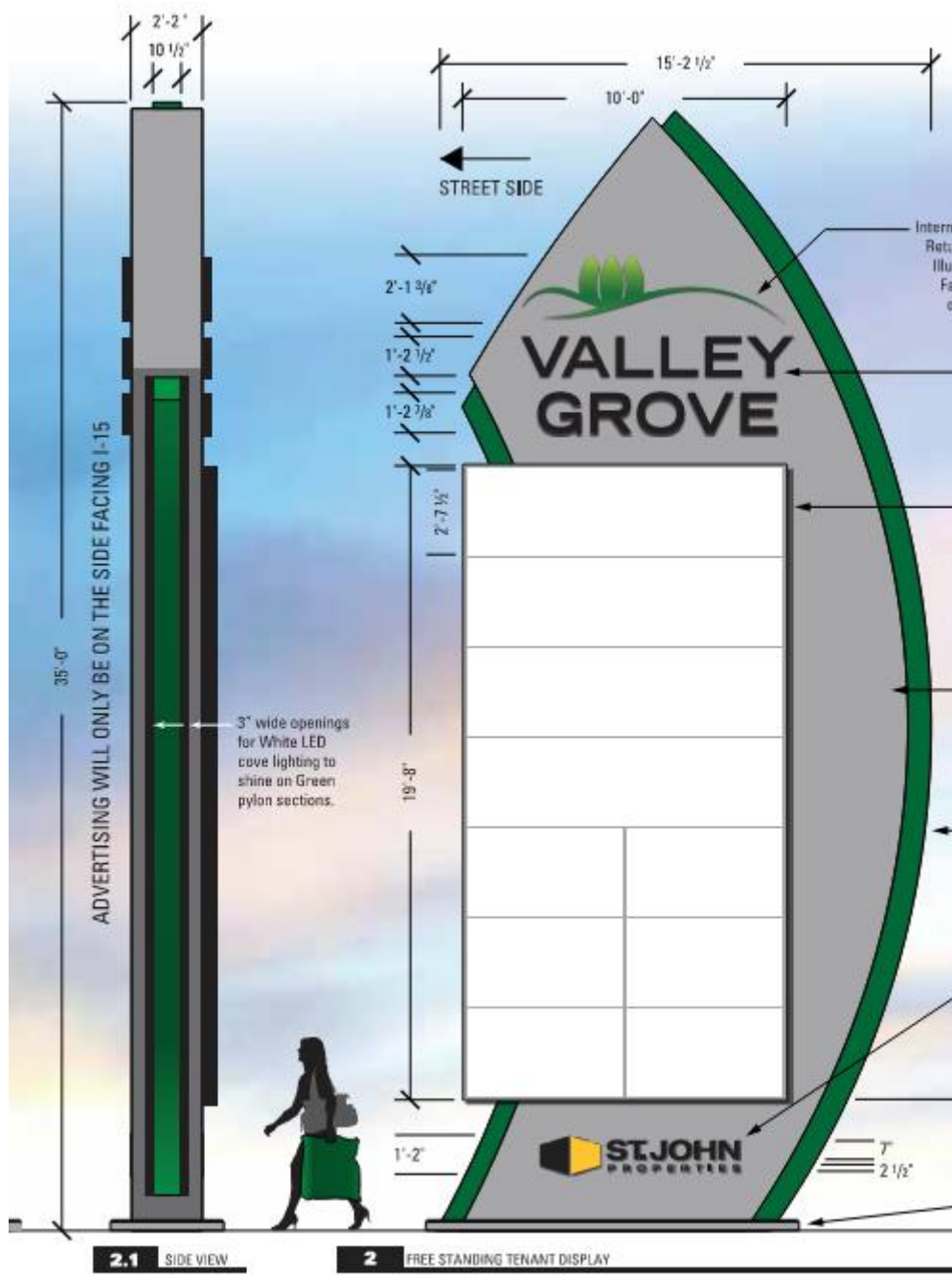
Motion by: Commissioner Martineau

Seconded by: Commissioner Redding

AYE VOTES: Vice Chair Patten, Fugal, Redding, Martineau, Shirley

NAY VOTES:

A. IMAGES – Proposed Signs



2.1 SIDE VIEW

2 FREE STANDING TENANT DISPLAY

SCALE: 1/4" = 1'-0"

Manufacture and install one (1) double face, tenant pylon display.
Install with direct burial embedment. Exact location to be determined.



Community Development 86 South 100 East Pleasant Grove, UT 84062 Phone: (801) 785-6057 Fax: (801) 785-5667 www.pgcity.org
 Authors: Daniel Cárdenas - Community Development Director



Proposed location of sign



ORDINANCE NO. 2023-24

AN ORDINANCE OF PLEASANT GROVE CITY, UTAH COUNTY, UTAH, AMENDING CITY CODE SECTION 10-19-1: SIGNS AND OUTDOOR ADVERTISING; BY MODIFYING THE REQUIREMENTS AND STANDARDS FOR THE DESIGN AND LOCATION OF FREESTANDING SIGNS AS WELL AS ENACTING A NEW DEFINITION AND REQUIREMENTS FOR PYLON SIGNS, IN THE PLEASANT GROVE CITY CODE; AND PROVIDING FOR AN EFFECTIVE DATE (PLEASANT GROVE CITY, APPLICANT).

WHEREAS, the applicant has requested the installation of outdoor advertising, in the form of pylon signs; and

WHEREAS, the current City Code regarding signs and outdoor advertising does not have a definition for pylon signs; but instead requires all free standing signs to meet the criteria for pole signs as defined by the code; and

WHEREAS, the applicant proposes to enact a new definition for pylon signs as well as requirements for the design, location and permitted dimensions for the signs that would be permitted in all districts of the Grove; and

WHEREAS, on October 12, 2023, the Pleasant Grove City Planning Commission held a public hearing to consider amending Section 10-19-1: Signs and Outdoor Advertising on the Pleasant Grove Municipal Code; and

WHEREAS, at its public hearing the Pleasant Grove City Planning Commission decided that the requested amendments to the Pleasant Grove Municipal Code are in the public's interest and are consistent with the written goals and policies of the General Plan; and

WHEREAS, the Pleasant Grove City Planning Commission recommended to the Pleasant Grove City Council that the request to add Section 10-19-1: Signs and Outdoor Advertising to the Pleasant Grove Municipal Code be approved; and

WHEREAS, on October 17, 2023, the Pleasant Grove City Council held a public hearing to consider the request; and

WHEREAS, at its meeting the Pleasant Grove City Council was satisfied that the amendments to the Pleasant Grove Municipal Code are in the best interest of the public and are consistent with the written goals and policies of the General Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Pleasant Grove City, Utah County, State of Utah as follows:

SECTION 1. Section 10-19-1: Signs and Outdoor Advertising, as follows:

CHAPTER 19

SIGNS AND OUTDOOR ADVERTISING

10-19-1: PURPOSE:

The purpose of the sign regulations set forth in this chapter is intended to:

- A. Eliminate potential hazards to motorists and pedestrians by requiring that signs are designed, constructed, installed and maintained in a manner that promotes the public health, safety and general welfare of the citizens of the City;
- B. Encourage signs which, by their good design, are integrated with and harmonious to the buildings and sites, including landscaping, which they occupy;
- C. Encourage sign legibility through the elimination of excessive and confusing sign displays;
- D. Preserve and improve the appearance of the City as a place in which to live and to work, and create an attraction to nonresidents to come to visit or trade;
- E. Allow each individual business to clearly identify itself and the nature of its business in such a manner as to become the hallmark of the business which will create a distinctive appearance and also enhance the City character;
- F. Safeguard and enhance property values, and protect public and private investment in buildings and open space. (Ord. 2000-23, 7-18-2000)

10-19-2: DEFINITIONS:

The following words and phrases, whenever used in this chapter, shall be construed as defined in this section:

A-FRAME SIGN: Any sign or structure composed of two (2) sign faces mounted or attached back to back in such a manner as to form a basically triangular vertical cross section through the faces.

ALTERATIONS: A change or rearrangement in the structural parts or design whether by extending on a side, by increasing in area or height, or by relocating its position.

ANIMATED SIGN: Any sign which is designed and constructed to give its message through the flashing of high intensity colored lights or rotation of such lights.

APPURTENANT SIGN: See definition of on premises sign or appurtenant sign.

AWNING SIGN: A sign designed in awning form that is an illuminated or nonilluminated space frame structure attached to a building or other permanent structure. **An awning sign is entirely supported by the building to which it is attached, and is comprised of a lightweight frame structure with a covering.**

BALLOON SIGN: An advertisement supported by a balloon anchored to the premises where the advertised use is conducted, product or commodity sold, service performed, or business name is located.

BANNER SIGN: A temporary sign made of fabric or any nonridged material with or without framework.

BILLBOARD SIGN: ~~A large off-premises advertising sign, typically located near a freeway corridor.~~ **A large freestanding, off-premises advertising sign, typically located along a freeway corridor within one hundred fifty feet (150') measured perpendicular to the edge of the right of way boundary.**

BUILDING FACE: The visible outer surface of a main exterior wall of a building. The area of the face of the building shall be the total area of such surface, including the area of doors and windows which opens into surface.

CANOPY: See definition of Marquee.

CANOPY SIGN: A canopy sign is either structurally independent from any building or partially supported by a building by one or more posts.

CHANGEABLE COPY SIGN: Any sign with informational content that can be changed or altered by manual, mechanical or electronic means.

ELECTRONIC MESSAGE CENTER: A mechanism or device which uses a combination of lights, lighted or unlighted panels which are controlled electronically to produce words, symbols or messages within a given panel area. The given panel area may not exceed fifty percent (50%) of the total sign area, and may not flash.

ERECT: To build, construct, place, relocate, enlarge, substantially alter, attach, suspend, paint, post or display. Normal maintenance, including refinishing, is not included in this definition, provided the sign copy is not changed or altered.

FLAG: A lightweight fabric, plastic, or other material, whether or not containing advertising of any kind, suspended from a rope, wire, string, or pole, designed to move with the wind.

FLAT SIGN: A sign erected parallel to and attached to the outside wall of a building.

FREESTANDING SIGN: A single- or double-sided sign façade, supported by a foundation, one or more upright poles, or braces placed in or upon the ground surface and not attached to any building. Examples include monument signs, pole signs, pylon signs, billboards, etc. ~~which is standing on or elevated from the ground by one or more pole supports.~~

FRONTAGE: The length of the sides along the street or any other principal public thoroughfare, but not including such length along an alley, watercourse, railroad, street or thoroughfare with no permitted access.

GRAND OPENING SIGN: A temporary sign intended to recognize a newly opened or relocated business for the purpose of promoting or familiarizing people with the business.

HAZARDOUS SIGN: Any sign that is deemed unsafe by the city's chief building official, under the direction of the community development director. These signs are to be removed within one day of receiving written notice.

HOLIDAY SIGN: A temporary sign for Christmas decorations or those used for a recognized national, state or local holiday.

INTERIOR SIGN: A sign located within a building.

LOGO SIGNS: Any sign whose single feature is a reproduction of the common recognized logo of the company and/or product.

MARQUEE: Means and includes any roofed structure attached to and supported by a building, and projecting over public property.

MONUMENT SIGN: A freestanding sign which is intended for ground level advertisement, and is fixed to the ground with a foundation or base from which the sign is supported, and blends into the landscape and architectural design theme of the project area.

MOVABLE, FREESTANDING SIGN: Any sign not affixed to or erected into the ground.

NAMEPLATE SIGN: A sign indicating the name and/or occupation of a person legally occupying the premises or indicating a legal home occupation thereon.

NONAPPURTENANT SIGN: See definition of "Off Premises Sign Or Nonappurtenant Sign".

NONCONFORMING SIGN: A sign or sign structure or portion thereof lawfully existing at the effective date of this chapter or any amendment hereto which does not conform to all height, area, yard, spacing, animation, lighting, use or other regulations prescribed in the zone in which it is located after the effective date of this chapter or any amendment hereto.

OFF PREMISES SIGN OR NONAPPURTENANT SIGN: Any sign which advertises products, services or business establishments which are not located, conducted, manufactured or sold upon the same premises upon which the sign is erected.

ON PREMISES SIGN OR APPURTENANT SIGN: Any sign which advertises products, services or business establishments which are located, conducted, manufactured or sold upon the same premises on which the sign is erected.

OUTDOOR ADVERTISING SIGN: A structure erected and maintained for outdoor advertising purposes upon which a poster, bill, printing or painting may be placed to advertise products, goods, services or business establishments located, conducted, manufactured or sold upon the premises on which the structure is erected.

POLE SIGN: A freestanding sign with a clearance of at least 10 feet from the ground level of the adjacent sidewalk, curb or street to the lower edge of the sign cabinet. A pole sign is wholly supported by one or more poles, permanently fastened to or embedded in the ground or to a foundation in the ground, and not attached to any building.

POLITICAL SIGN: A sign that does not advertise products, goods, businesses or services, that expresses an opinion or point of view. This sign type advertises a candidate or candidates for public elective office, or a political party only, urging a particular vote on a public issue decided by ballot.

PROJECTING SIGN: Any sign attached to a building or structural wall and extending horizontally outward from such wall more than eighteen inches (18").

PROPERTY: Land or real estate, with or without structures; not goods or services.

PUBLIC EVENT BANNER: A banner pertaining to festivals or events permitted by the Pleasant Grove city council, which is installed as a temporary sign.

PYLON SIGN: A freestanding sign supported by one or more structural elements that are architecturally compatible to the design of a building. A pylon sign is not intended for ground level advertisement. Pylon signs have an internal vertical structural support that connects the sign face or façade to the ground.

RESIDENTIAL ZONE OR DISTRICT: Any zone which is designated by the prefix "R" in this title.

ROOF SIGN: Any sign which is erected upon or over the roof or over a parapet of any building or structure.

SIGN: Any words, lettering, parts of letters, figures, numerals, phrases, sentences, devices, designs, pictures, trade names or trademarks by which anything is made known, such as are used to designate a firm, association, corporation, profession, business or service, whether placed on the ground, rocks, trees, stumps, or other natural objects, or on a building, wall, roof, frame, support, fence or other manmade structure, which are visible from any public street, public highway or public road right of way. For the purpose of this chapter, the word "sign" does not include the flag, pennant or insignia of any nation, state, city or other political unit, or of a nonprofit organization. It shall not include, further, any official notice issued by any court, public body or officer, or directional, warning or informational sign or structure required or authorized by law.

SIGN AREA: The area of a sign that is used for display purposes, excluding the minimum frame and supports. In computing sign area, only one side of a back-to-back or double-faced sign covering the same subject shall be computed where the signs are parallel or diverge from a common edge by an angle of not more than forty-five degrees (45°). In relation to signs that do not have a frame or a separate background, sign area shall be computed on the basis of the least rectangle, triangle or circle large enough to frame the display. **The sign area of a pylon sign includes any portion of the façade that has text other than address information or directions.**

SIGN HEIGHT: The vertical distance measured from the grade to the highest point of the sign or sign structure.

SNIFE SIGN: A sign which is attached to a public utility pole, fixture poles, canopy supports, stakes or the supports for another sign.

SPECIAL PURPOSE SIGN: A temporary sign accessory to a use that identifies special events or activities. A special event sign shall not include real estate signs, garage/yard sale signs or other types of accessory signs.

TEMPORARY: A period not to exceed thirty (30) days, unless otherwise stated in this chapter.

TIME AND TEMPERATURE DEVICE: Any mechanism that displays the time and/or temperature, but does not display any commercial advertising or identification.

WALL SIGN: Any sign posted, suspended from, or otherwise affixed to a wall, fascia, canopy or marquee in an essentially vertical position, or with exposed face of the sign in a place approximately parallel with the wall or fascia upon which it is attached.

WIND SIGN: Any propeller, whirligig or similar commercial device which is designed to flutter, rotate or display other movement under the influence of wind. This definition shall not include pennants, flags or banners. (Ord. 2008-10, 4-15-2008)

10-19-3: GENERAL REQUIREMENTS:

The following general requirements shall apply to all signs and outdoor advertising structures which may be erected or maintained within the city:

- A. **Sign Approval:** Except as otherwise provided, it shall be unlawful and a class C misdemeanor and upon conviction, subject to penalty as provided in section [1-4-1](#) of this code, to erect or maintain any sign or outdoor advertising structure in the city without first obtaining the approval of the community development director for said sign or advertising structure, the granting of which shall be based upon the provisions of this chapter. Approval shall not be required for temporary nonelectrical wall and nonelectrical freestanding signs of less than twenty five (25) square feet in area.
- B. **Permits:** Except as otherwise provided in this chapter, no sign shall be erected, raised, installed, moved, placed, replaced, reconstructed, remodeled, enlarged or altered, unless a sign permit is first obtained from the community development department. Sign permits shall be issued in conformance with the regulations of this chapter, the development's sign criteria and/or other requirements imposed with the site plan approval by the planning commission ~~or, if the sign is part of a grove zone project, then it is approved by the city council.~~ A building permit must also be obtained for sign construction or alteration in accordance with city building regulations. A sign permit or building permit issued in violation of the requirements of this chapter shall be void. The approval of a sign permit shall be evidenced by a signature from a representative of the community development

department. All signs shall be constructed and all permits shall be issued in accordance with the provisions of the international building code. All sign permits shall expire within one hundred eighty (180) days of the date of approval, unless sufficient progress has been made toward installing the sign. A permit may be revoked and a sign removed, pursuant to subsection D of this section, if the applicant makes a false or misleading statement in the permit application or renewal. (Ord. 2008-10, 4-15-2008)

C. Procedure To Obtain A Sign Permit:

1. Proposed Developments: A sign and/or sign criteria shall be submitted for review by the planning commission for proposed developments at the time of site plan review. ~~If the signage is associated with a grove zone project area, then the criteria is submitted to city council.~~ Site plan approval does not constitute sign permit approval, only design approval. Sign permits will not be issued for proposed developments until the following has been met:
 - a. The proposed site plan and site criteria have been granted a final approval; and
 - b. A sign application is received, and is in compliance with the provisions of the approved site plan and criteria, and the provisions of this chapter prior to installation.
2. Existing Developments: Permit applications for new or replacement signage in existing developments shall not be granted until the following has been met:
 - a. With approved sign criteria, the permit shall be reviewed and issued by the community development department in compliance with this chapter and the sign criteria for the development as approved by the planning commission or city council; or
 - b. If there was no sign criteria approved for the development, the proposed signage may be approved by the community development director, if such signage meets all provisions of this chapter, and will be compatible with other signs in the development area.
 - c. If revised criteria are proposed for a development, the property owner shall submit and obtain approval for such, from the community development director.
 - d. If a sign is proposed to be constructed in the grove zoning district, a recommendation must be obtained from the design review board (DRB). If a sign is proposed to be constructed in the downtown village zone, a recommendation must be obtained from the downtown advisory board design committee.
3. Applications: Sign permit applications shall be made to the community development department by submitting the following information and other exhibits or details as needed for the city to properly evaluate the sign proposal:
 - a. Site plan for the development, drawn to scale, showing location(s) of proposed signage, existing and future buildings, property lines, streets, sidewalks, landscaped areas, parking areas, driveways, setbacks, utility poles, and lines, building and sign separations or features of the property as needed.

- b. Elevation plans showing sign type, design, height, clearance, dimensions, copy, graphics, colors, materials, exposed or internal lighting, assembly, attachment, installation or other details as needed.
 - c. Purpose of the sign permit; i.e., new sign, alteration, remodel, permanent or temporary.
 - d. Plans are to be professionally drawn.
- 4. Review Criteria: The following factors shall also be considered and satisfied prior to the issuance of a sign permit:
 - a. The proposed sign will comply with all provisions of this chapter.
 - b. The proposed sign will not be detrimental or injurious to the neighborhood.
 - c. The proposed sign will promote a desirable and compatible relationship among structures, open spaces, and topography on the site and on adjacent properties.
 - d. The proposed sign's height, area, location, mass, configuration, colors, illumination, and landscaping are appropriate for the neighborhood and community. (Ord. 2008-17, 7-15-2008)
 - e. The proposed sign may not extend over property lines, any vehicular drive aisles, or across the minimum setback requirements for signs. A sign may extend over a private property line if both private property owners enter into an agreement that is recorded at the Utah County Recorder's Office against both properties allowing the encroachment.
- D. Authorities: The community development director or his designated representatives shall be vested with the duty of enforcing this chapter, and in performance of such duty, shall be empowered and directed to do the following:
 - 1. Issue Permits: Includes new signs, signs to be added to existing buildings or uses, and existing signs proposed to be changed, enlarged, or modified.
 - 2. Determine Conformance: The community development director or his designee, may make an initial inspection or reinspection of any sign for which a permit has been issued and for which an inspection has been deemed necessary. Such inspections shall be performed to ascertain that all signs are in conformance with this chapter and as represented on the application for the permit.
 - 3. Issue Notice Of Violation(s), Citation(s): The director or his designee may issue a written notice of violation to the person or business having charge, control, or benefit of any sign found to be hazardous, abandoned, nonmaintained, or in violation of this chapter. Such official may also issue criminal citations and swear to information against violators. Refer to section [10-19-18](#) of this chapter for further details.
- E. Minimum Setbacks: Any part of a sign shall be located at least five feet (5') away from any property line in any zone, unless stated otherwise in this chapter. All signage is prohibited from being located within the city's public right of way.
- F. Maintenance: Signs, sign structures and the areas around the sign supports shall be maintained in a safe and attractive condition. Maintenance includes minor repairs, but does not include structural alterations, style changes or enlargement. Any sign that is not

maintained, abandoned, or such use has been discontinued, must be removed within forty five (45) days of receiving written notice.

- G. Approved Construction: All sign construction and use shall comply with uniform sign code and national electrical code requirements. Signs shall comply with all federal, state, city, and utility company regulations for power line and utility clearances.
- H. Illumination: All lighting installed for the purpose of illuminating a sign and/or sign structure shall not penetrate beyond the project area in such a manner as to annoy or interfere with the use of nearby properties.
 - 1. Violation: If such lights are alleged to violate this subsection H by the nearby property owners or community development director, they shall be subject to a public hearing before the planning commission as to the validity of the alleged violation. If such light is determined to be in violation, the owner of the light shall take appropriate action as directed.
 - 2. Exposed Neon: Except for window signs that are in compliance with this chapter, any exposed neon tubing used for signage must be approved by the community development director. (Ord. 2008-10, 4-15-2008)
- I. Signs For Commercial Or Office Developments In Residential Zones: Unless otherwise stated within the requirements of a specific sign section, commercial/retail or office signs are not permitted in residential zones. (Ord. 2008-17, 7-15-2008)

10-19-4: SIGNS, ON PREMISES:

Except as provided within the provisions of respective zoning districts, and unless otherwise expressly provided in this chapter, no sign shall be permitted which is not used exclusively to advertise the ownership, sale or lease of property upon which said sign is placed, or to advertise a business conducted, services rendered, goods produced or sold upon such premises, or to advertise or identify any other lawful activity conducted upon such premises. (Ord. 2000-23, 7-18-2000)

10-19-4-1: UNIFIED COMMERCIAL DEVELOPMENT

The purpose of a Unified Commercial Development sign is to provide adequate advertisement for businesses that are developed as part of a master plan under a common development name. In so doing, off-premises advertisement may be provided for businesses located within the boundaries of a Unified Commercial Development; it is not the purpose of a Unified Commercial Development sign to provide off-premise advertisement for businesses located in other areas outside of the Unified Commercial Development boundaries.

A. As used in this section:

- 1. "Common areas" means sidewalks, roadways, landscaping, parking, storage, and service areas that are identified on the approved map provided to the community development department describing the Unified Commercial Development as required by this section.
- 2. "Contiguous"
 - a. "Contiguous" includes parcels that are directly contiguous, or that are considered to be contiguous notwithstanding a survey error or discrepancy

2. In the event that a parcel within the boundaries of the approved Unified Commercial Development is removed from the development, that parcel shall be excluded from the Unified Commercial Development for purposes of determining a legal site for the sign, and any business, product, service, or event occurring on that parcel shall be excluded from display upon the Unified Commercial Development sign.
 3. If the owners in an approved Unified Commercial Development subdivide the Unified Commercial Development into individual parcels that do not meet the criteria in this Subsection (10-19-4-1), then the approved Unified Commercial Development sign permit shall be denied or revoked.
- D. A Unified Commercial Development sign within a Unified Commercial Development shall prominently display the name of the development and may also advertise:
1. The sale or lease of land within the Unified Commercial Development where the sign is located;
 2. The name of identifiable facilities or stores within the Unified Commercial Development; and
 3. Products for the sale or services provided to the public at licensed businesses within the Unified Commercial Development.
 4. The primary developer's business name.
- E. A Unified Commercial Development sign may not:
1. Advertise brands, logos, or trade names of businesses, products, services, events, or activities that are not available to the public at facilities or stores within the Unified Commercial Development or are only incidental to any business within the Unified Commercial Development;
 2. Advertise products, services, brands, logos, or trade names of any business more than 120 days before the opening day of business to the public within the Unified Commercial Development of the facilities or stores of the named advertiser; or
 3. Exceed the measurable limits described in Subsections 10-19-9-2-A and 10-19-9-3-A.
- F. A Unified Commercial Development sign that is not maintained in compliance with this section shall:
1. Have the sign owner's Unified Commercial Development Sign Permit revoked by the community development department;
 2. Be considered as unlawful outdoor advertising; and
 3. Be subject to penalties described in Section 10-19-17.
- G. Notwithstanding any other provision in this part to the contrary, any sign or structure lawfully existing prior to the adoption of this ordinance, may continue to be operated, maintained, rebuilt, or replaced in a manner consistent with Section 10-19-14.

10-19-5: EXEMPT SIGNS:

A sign permit shall not be required for the following signs:

- A. Community: Signs displaying community identity, events or functions, must be approved by the community development director or his designee. Even though these signs are exempt, from obtaining a sign permit, they must still meet the criteria for size, design and placement, as outlined in this chapter. The following criteria must also be followed:
1. All signs must be made of durable, weather resistant material;

2. Must use logos or symbols instead of copy where possible, where copy would cause a distraction to vehicular traffic;
3. May be located at various gateway points identified in the city, along major streets and important intersections, on city owned property or nonresidential properties. They shall also be permitted in the downtown village zone with a recommendation from the downtown advisory board;
4. May not be attached to another temporary sign, permanent traffic or business sign;
5. If attached to light or utility poles, such signs shall be uniform in size and shall be no larger than four feet (4') wide and eight feet (8') tall. Signs attached to a building

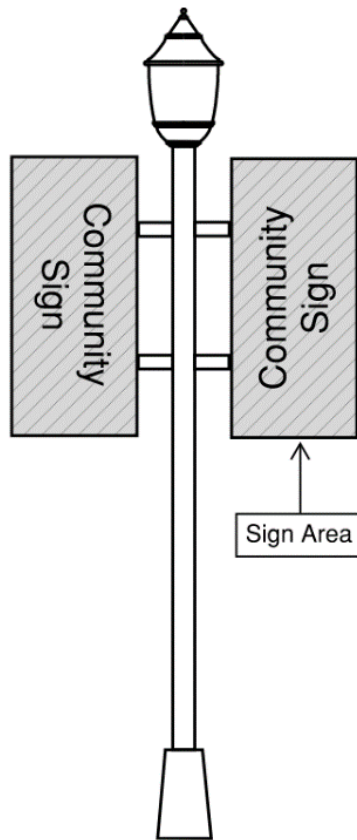


Figure 1 - Community Sign

may be larger, but must be appropriate in scale and location as approved by the community development director (see figure 1 of this section). (Ord. 2010-20, 12-7-2010)

- B. Directional/Service: On site signs not exceeding four (4) square feet in area and three feet (3') in height, which serve to designate the location or direction to any use or structure on the premises, such as "Entrance", "Exit", "Parking", "Restrooms", "No Smoking", or "Delivery" (see figure 2 of this section). (Ord. 2008-17, 7-15-2008)

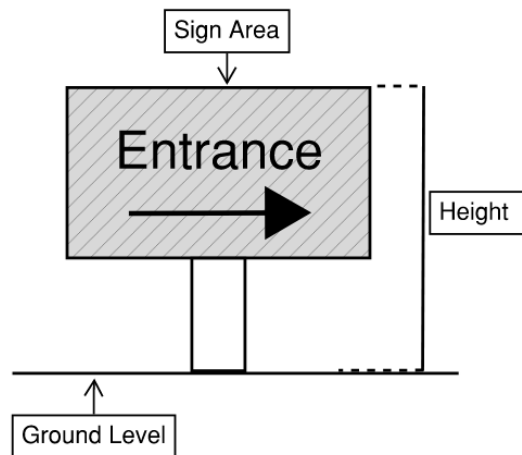


Figure 2 - Directional/Service Sign

- C. Flags: Any official flag, pennant or insignia of any nation, state, city or other political unit, or corporation. Flagpoles may not exceed thirty five feet (35') in height for mixed use and residential zones, and may be up to fifty feet (50') in height for commercial use only zones. Corporate flags may be allowed as an exemption so long as the following criteria are met:
 1. Flag must only communicate the corporate name or development.
 2. Any corporate flag must be equal in size or smaller than an adjacent official government flag. The maximum area of the flag cannot exceed sixty (60) square feet, in the event there are no adjacent government flags.
 3. Exempt corporate flags shall only be permitted in the grove and commercial retail districts.
- D. Gas Islands: A single 8.5 inch by eleven inch (11") sign may be located at each gas island and must be located directly on top of a gas dispenser.
- E. Holiday: Lights and decorations with no commercial message, which are primarily decorative in nature. Such signs may be of any type and number, but shall be contained entirely within the boundaries of the lot, parcel, or premises on which they are erected, and should be placed so as to avoid confusion with authorized traffic lights and signals and shall conform to traffic safety standards. Such signs are to be removed within fourteen (14) days after the respective holiday is over.
- F. Home Occupations: A legally licensed home based business may have a single flat wall sign, mounted to the residence, no larger than two (2) square feet in area.
- G. Nameplate: One sign identifying the owner, occupant, address or home occupation, no larger than two (2) square feet in area, and must be attached to the building. Nameplate signs used in the form of a monument type sign, and may be no larger than four (4) square feet in area, and must be located a minimum distance of three feet (3') from the property line.
- H. Political: Temporary signs which promote a candidate for public office or a subject of a political campaign, except as exempted under state or federal law; no larger than thirty two (32) square feet in area. Political signs shall be limited to the following regulations:
 1. These signs may not be illuminated.

2. Signs may not be located on city property.
- I. Private Property: For example, signs for "No Dumping" or "No Trespassing". These signs may not be larger than four (4) square feet in area for properties less than one acre, and no larger than sixteen (16) square feet in area for properties one acre or larger.
 - J. Promotional/Temporary: Banners, pennants, streamers, flags and balloons, if used no longer than sixty (60) days promoting the grand opening of a business approved and licensed by the city. Banners shall not exceed sixty (60) square feet in area, and may be staked into the ground within the front yard area if it is determined by the city that placement of the banner on a permanent structure does not achieve the desired visibility from the public street. Pennants/streamers and balloons may remain, if attached to the building or other permanent feature, along all commercial frontages.
 - K. Logos: Brand logos, as part of an approved sign, including electronic message boards, may be used if the logo is in conjunction or is a benefactor with the primary business the sign is for.
 - L. On Premises Real Estate: Signs depicting "For Rent", "For Sale", and "For Lease" or similar signs; limited to one per residential lot or parcel and no larger than nine (9) square feet in area for lots smaller than one acre, and no larger than sixteen (16) square feet in area for lots one acre or larger. For nonresidential zones, property owners may have one sign per street face, no larger than thirty two (32) square feet in area.
 - M. Public Notice: The display of official notices used by any court or public body or official, or the posting of notices by any public officer in the performance of a duty, or by any person giving legal notice.
 - N. Temporary Uses: Signs no larger than sixteen (16) square feet in area for the sale of produce grown on the property in rural zones, or associated with an approved "temporary use".
 - O. Time And Temperature: Signs and elements of commercial signs which convey only time, temperature or weather conditions.
 - P. Warning: Any sign of a noncommercial nature when used to protect the health, safety or welfare of the general public.
 - Q. Window: Signs, posters, messages, and displays, including wraps that are painted or mounted, on either side of a window, may be used to advertise special promotions, provided that no more than fifty percent (50%) of the total window area, of each facade, is covered. Neon window signs are to be limited to twenty five percent (25%) of the total allowed window area of each commercial facade. (Ord. 2010-20, 12-7-2010)

10-19-6: LOCATION STANDARDS:

All signs and outdoor advertising structures shall comply with the following location requirements:

- A. Not Obstruct, Interfere: No sign shall be erected in such a manner that any portion of the sign or its support will interfere with the use of any fire escape, exit or standpipe, or obstruct any required stairway, door, ventilator or window.
- B. Sight Triangle: No sign shall be erected at any intersection improved for vehicular traffic within a triangular area formed by the property lines and their projections and a line connecting them at points twenty five feet (25') from the intersections of the projecting property lines; **or as determined by the City Engineer in compliance with AASHTO's**

~~standards unless same in its entirety is less than three feet (3'), or more than eight feet (8') above the curb grade, no part of its means of support has a single or joined horizontal dimension exceeding twelve inches (12"), or said sign is within an area in which a building or structure is permitted by the provisions of the respective zone.~~

- C. Utility Clearance: No sign shall be erected or maintained which has less horizontal or vertical clearance from communication lines and energized electrical power lines than that prescribed by the laws of the state or rules and regulations duly promulgated by agencies thereof. No signs shall be erected or maintained on any utility pole except by the utility company itself.
- D. Clearance; Public, Private Ways: No sign shall be erected in such a manner that any portion of the sign or its support will extend over a public or private right of way. (Ord. 2008-10, 4-15-2008)

10-19-7: MISCELLANEOUS SIGNS:

In addition to other permitted signs, signs for special purposes set forth in this section shall be permitted, with an approved sign permit, as provided herein:

- A. Historical Signs: Historical monuments and markers, designating historic sites, may be constructed in all zones, subject to the provisions of this chapter, and with the approval of the planning commission after receiving a recommendation from the city historical commission. These signs shall not exceed thirty two (32) square feet in area.
- B. Canopy Signs: One sign, consisting of the company logo, may be placed on the fascia of each side of a canopy. The logo shall not exceed four (4) square feet, unless the planning commission or city Council allows an increase in size through a conditional use permit review. The canopy sign area shall count towards the total allowed area of a wall sign. Signs with changeable copy (reader boards) located on marquees of theaters or similar public assembly uses may combine the total allowable area for all building faces, as permitted by the Community Development Director, so long as there are no wall signs placed upon building faces other than the face to which the marquee is attached (see figures 3 and 4 of this section).

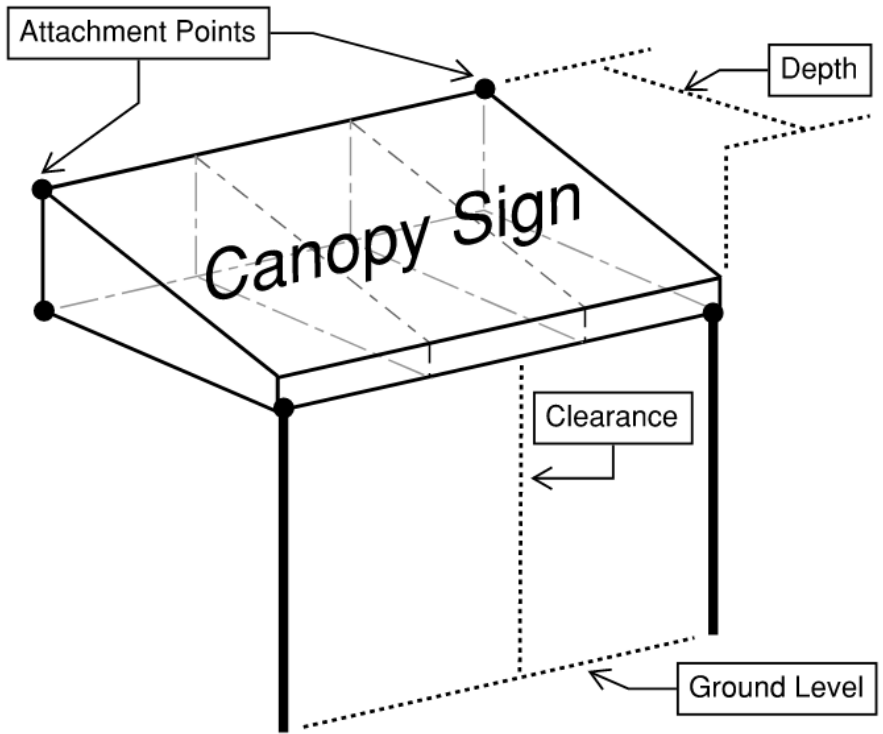


Figure 3 - Canopy Sign Attached to Wall

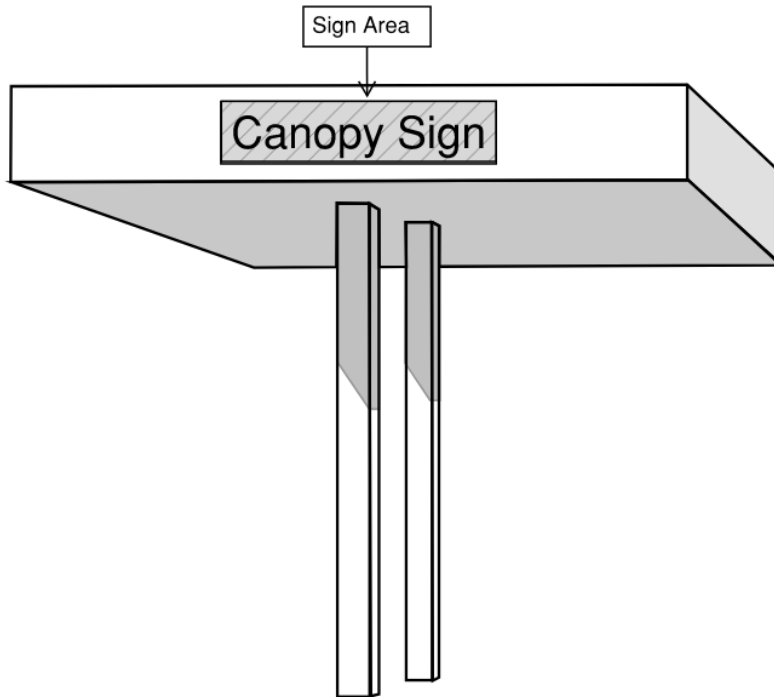


Figure 4 - Freestanding Canopy Sign

- C. On Premises Development Signs: Signs may be erected in conjunction with construction projects and used for the purpose of publicizing the future occupants of the building, architects, engineers and construction organizations participating in the project; and such other information as may be approved by the Community Development Director. In residential zones, no such sign shall exceed thirty two (32) square feet in area. In other zones, no such sign shall exceed an area of sixty four (64) square feet, and no freestanding sign shall exceed twelve feet (12') in height. All such signs shall be removed before final inspection. These signs are to be nonilluminated, and be a minimum fifty feet (50') from another development sign, and may be displayed up to two (2) years or until the project is completed, whichever comes first.
- D. Off Premises Development Signs: One nonilluminated sign per development may be installed off the premises, no closer than fifty feet (50') from another sign or building, and no larger than thirty two (32) square feet in area. It shall not exceed twelve feet (12') in height, and may be installed after final approval is given for the development, and may be displayed up to two (2) years or until the project is completed, whichever comes first. The property owner's signed affidavit shall be required with the sign permit.
 - 1. City May Amortize: The City may acquire title to off premises nonconforming signs or outdoor advertising structures by gift, purchase, agreement, exchange or eminent domain, and shall have the right to amortize off premises nonconforming signs as permitted by State or Federal law. (Ord. 2008-10, 4-15-2008)
- E. Electronic Message Signs: Electronic message signs shall be permitted as part of a ~~monument sign~~, freestanding sign or wall sign in all commercial and industrial zones, and in residential zones for schools and churches only. All electronic message signs shall come equipped with automatic dimming technology which shall automatically adjust the sign's brightness in direct correlation with the natural ambient light conditions at all times. No electronic message sign shall exceed a brightness of more than three-tenths (0.3) foot candle above the ambient light as measured using a foot candle (lux) meter.
 - 1. Electronic message signs as ~~monument or freestanding~~ pole and pylon signs: These signs may not flash and shall not exceed fifty percent (50%) of the total sign area in which they are contained. For the Grove Zone, C-N Zone, and CS-2 Zone, these signs must never face residential housing units, and should always be in view of a public street. Owners of these signs are encouraged to provide the City with opportunities to place public service messages on these message boards (see figure 5 of this section).



Figure 5 - Electronic Message Sign

2. Electronic message signs as wall signs: These signs shall not flash. The area of these signs shall not exceed more than five percent (5%) of the facade upon which they are placed. Owners of these signs are encouraged to provide the City with opportunities to place public service messages on these message boards. (Ord. 2017-35, 7-18-2017)
- F. Church, Quasi-Public Organization And Apartment/Condominium Signs: In all zones, a church or quasi-public organization may erect one wall sign, and one monument sign, on the premises, to identify the name of the organization and announce activities thereof. Apartment/condominium houses of five (5) or more dwelling units may erect one monument sign on the premises to identify only the name of the apartment complex. Said monument sign shall not exceed an area of thirty two (32) square feet. A wall sign may be mounted upon an ornamental masonry wall, and shall not exceed the same area as the monument sign. (Ord. 2008-10, 4-15-2008)
- G. Temporary Banner Signs: The following categories of temporary banner signs are allowed:
1. General commercial banners are permitted under the following conditions:
 - a. Promotions, retail sales, and events, etc., may be displayed up to twenty four (24) weeks per calendar year upon receiving a temporary sign permit from the community development department. A temporary sign permit is required for each separate time period used. Minimum time frame is two (2) weeks for each permit period;
 - b. Must be mounted or displayed on the face of the building or retail space, monument sign or freestanding sign associated with the site where the business is located;
 - c. Each business is allowed only one banner per permit at a time;
 - d. The banner cannot exceed thirty two (32) square feet in area; and
 - e. The property owner's signed affidavit shall be required with the sign permit.

2. Community/downtown based activity signs or event banners, for any single purpose or event. In cases where a private property owner wishes to help provide community based advertisement, such as for the downtown village theater, then the owner must follow the provisions of this chapter, and this type of temporary signage is allowed under the following conditions:
 - a. Submittal of a temporary sign permit;
 - b. Banner type signs, no larger than one hundred twenty (120) square feet in area, which announce holidays, shows, and events from the downtown village zoning district, and other public interest events, including those sponsored by nonprofit organizations;
 - c. May not be displayed for more than thirty (30) days; however, the community development director may approve these signs for longer terms subject to review on a ninety (90) day basis;
 - d. May be located or displayed on the face of a municipal building with city approval. The sign applicant may locate these signs on private property, with the consent of the property owner, as long as all other provisions under this chapter are met;
 - e. No more than one sign per event, identity or function, per location;
 - f. Sign must be placed in such a way as to not block the view of permanent streetscapes, such as planter beds, markers, etc.;
 - g. No such sign shall be attached or adjacent to a city marker or monument.
 3. Bankruptcy or going out of business promotions banner signs may be displayed for ninety (90) consecutive days. Each business may only have one such display per business license.
 4. Public and nonprofit schools chartered by Utah state may display off premises banner or rigid type signs on fences within the school property which do not front on a public street. Off premises advertising signs on fences that front on a public street may be permitted with the following restrictions:
 - a. Signs may cover no more than ten percent (10%) of the fence surface that fronts a public street.
 - b. The sign size may not exceed eighteen (18) square feet in area.
 - c. Signs must be spaced at least six feet (6') apart and may not be stacked on top of each other.
 - d. Signs must be kept in good condition.
 - e. Signs must be attached to fences in a manner that is designed to be temporary and provide for removal without damage to fence or other property.
 - f. Signs may not advertise for any alcohol, tobacco, or sexually oriented business.
 - g. Signs may not be displayed on or near gates and fence openings.
 - h. Signs may not be displayed within clear vision areas, as defined in section 10-15-10 of this title. (Ord. 2013-27, 8-20-2013)
- H. Directional Garage/Yard Sale And Open House: Signs for directing persons to a subject property. The sign may not exceed four (4) square feet in area, and may be placed at the entrance of the subdivision in which the advertised property is located at the nearest cross street, and one other location. Each property owner shall be limited to ten (10) directional

open house or garage sale signs per lot or parcel that lead to the property advertised. Applicants must submit a temporary sign permit with permission from the property owners, for where the signs are located. "Garage Sale"/"Yard Sale" signs are allowed for a period not exceeding five (5) consecutive days or a total of fifteen (15) days per calendar year. "Open House" signs are to be removed after three (3) days (see figure 6 of this section for example of placement). (Ord. 2008-17, 7-15-2008)

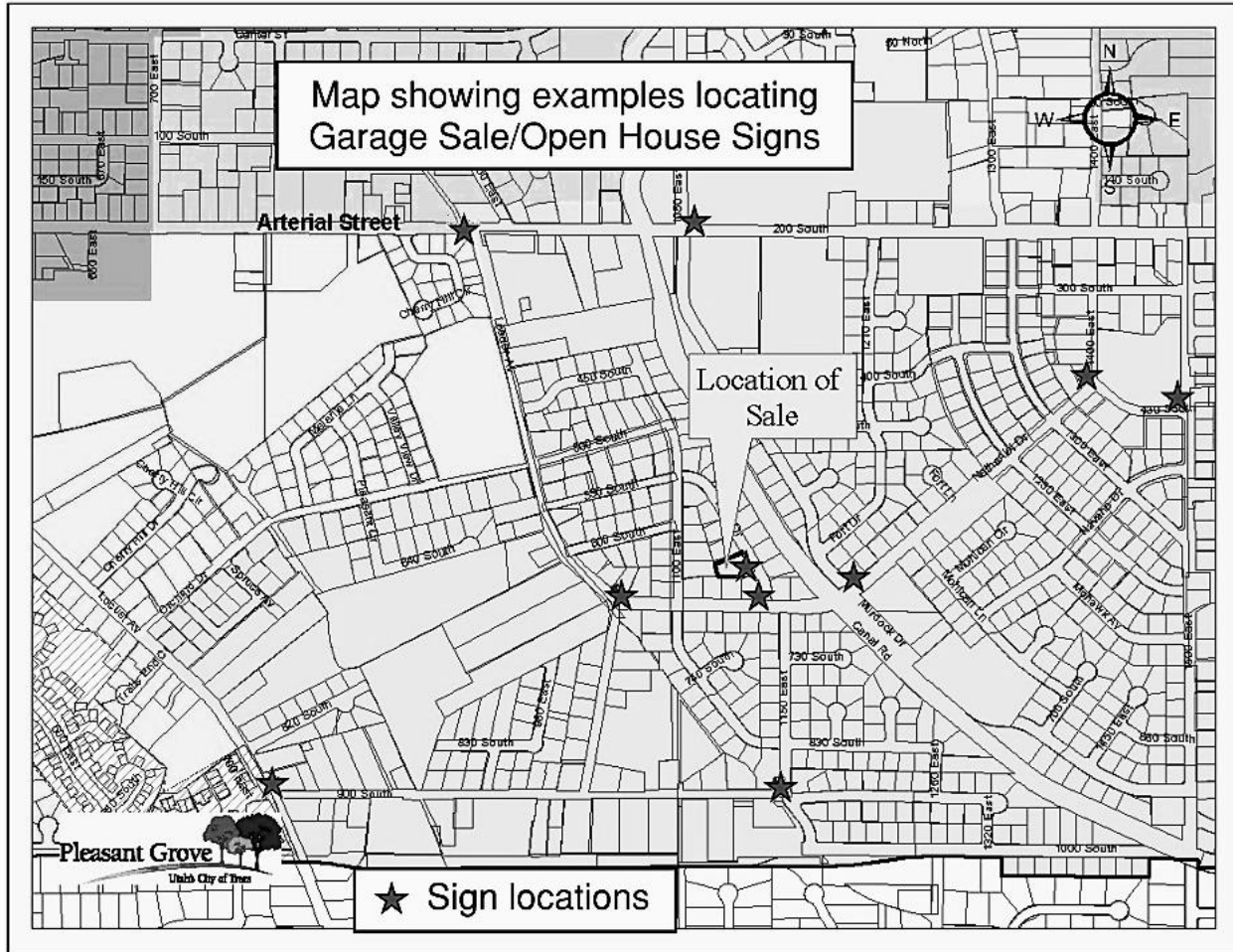


Figure 6 - Location of Garage Sale Signs

- I. Directional Property Sale: The sign may not exceed four (4) square feet in area, and may be placed at the entrance of the subdivision in which the advertised property is located at the nearest cross street, and one other location. Each property owner shall be limited to three (3) directional signs per lot or parcel that lead to the property advertised for the sale advertised. Applicants must submit a temporary sign permit with permission from the property owners, for where the signs are located. These signs may remain for sixty (60) days. Within three (3) days of expiration, the applicant must seek an extension from the community development director or submit for new approval. If neither is done, then the signs may be removed by the city.

- J. Menu Boards: Freestanding, monument or wall mounted menu boards are permitted at drive-through establishments, provided that the signs do not exceed forty (40) square feet in area and no more than eight feet (8') in height, and are placed a minimum fifteen feet (15') from all property lines. All freestanding or monument menu boards are to be placed between the drive-through lane and the building, and a maximum of two (2) signs are permitted per drive-through lane.
- K. Gasoline Price Signs: These signs may only be used in conjunction with an approved monument or freestanding sign, and shall be included in the total allowed area calculated for the sign.
- L. Changeable Signs: May be installed as part of an approved monument or freestanding sign in only the commercial, office, and industrial zones. The changeable area shall not exceed fifty percent (50%) of the total sign area, except for theater and event hall signs, as regulated in this chapter. (Ord. 2008-10, 4-15-2008)
- M. Movable (A-Frame) Signs: Movable (A-frame) signs are permitted in all commercial zones, except for the grove district, for additional visibility; however these signs shall not obstruct the public right of way. At least six feet (6') of sidewalk width must be clear for the public. These signs shall be subject to the following design restrictions:
 - 1. Height: A-frame signs shall not exceed four feet (4') in height;
 - 2. Area: Signs shall not exceed twelve (12) square feet in area on one side;
 - 3. Number/Limit: One sign per business is allowed per street front within the public right-of-way. If the signs are located on private property, then the limit is the same; however, there must be a separation of six feet (6') between signs. In all cases advertisements must be for a business on the property for which the sign is located or the sign must stand in front of the retail/office space if located on a sidewalk;
 - 4. Design: Signs are to be durable and long lasting. They are to be composed of vinyl/plastic or molded to give a carved wood appearance. Construction is not to be haphazard, but have a professional appearance. Painted plywood and paper signs shall be prohibited. (Ord. 2010-20, 12-7-2010)
- N. Seasonal Business Temporary Signs And Banners: Signs or banners directing persons to seasonal businesses. Each seasonal business shall be limited to five (5) advertising/directional signs or banners. The sign or banner may not exceed twelve (12) square feet in area and may be placed in commercial zones only. Applicants must submit an application for a temporary sign permit and written consent from the property owners where the signs or banners are proposed to be located. Signs or banners are allowed for a period not exceeding fourteen (14) consecutive days or a total of sixty (60) days per year. Signs or banners are to be removed three (3) days after the end of the event. A temporary sign permit is required for each separate time period used. Refer to subsection M4 of this section for design and construction requirements. (Ord. 2014-19, 5-20-2014)

10-19-8: INTERPRETATION:

The sign regulations contained herein are declared to be the maximum allowable for the purposes set forth. If the Community Development Director determines that an application needs further review, he may request Planning Commission review of the proposal. Where

other ordinances are in conflict with this chapter, the most restrictive ordinance shall apply. Any sign not expressly allowed by this chapter is prohibited. (Ord. 2008-10, 4-15-2008)

10-19-9: FREESTANDING SIGNS:

All freestanding sign applications are to follow the criteria below:

10-19-9-1: MONUMENT SIGNS

Monument signs shall be permitted in all zones. Monument signs in residential and agricultural zones may only be installed in conjunction with an approved subdivision development, agricultural business, church, school, and an institutional or recreational facility. All monument sign applications are to follow the criteria below, unless otherwise stated in this chapter: (Ord. 2010-20, 12-7-2010)

A. Area And Height: The maximum allowable size and height shall be as follows:

<u>Subject Area</u> Area of lot where sign is located or Unified Commercial Development <u>(Acres)</u>	<u>Sign Area</u> <u>(Square Feet)</u>	<u>Sign Height</u> <u>(Feet)</u>
Less than 10	32	4
10 to 20	48	6
Greater than 20	64	8

1. Height Exception: A monument sign falling under the category of less than ten (10) acres may elevate the height of the sign by no more than two feet (2') with the construction of a base or landscaped berm. For all other categories of monument signs, a decorative base or raised finished grade will be included in the calculation of the monument's height.
- B. Density: Only one monument sign shall be permitted for each project area, lot, parcel, frontage or project pad.
 - C. Separation: A minimum separation of one hundred feet (100') shall be maintained between monument signs. If a proposed monument sign is to be located along the same frontage as an existing or proposed pole or pylon sign, then the monument sign must have a minimum separation of fifty feet (50') from the pole or pylon sign.
 - D. Location: All monument signs must be located along a designated city right-of-way or private street at a minimum distance of five feet (5') from any property line adjacent to a public right-of-way or private street. No sign shall be erected at any intersection improved for vehicular traffic within a triangular area formed by the property lines and their projections and a line connecting them at points twenty-five feet (25') from the intersections of the projecting property lines; or as determined by the City Engineer in compliance with AASHTO's standards.
 - E. Design: All monument signs shall be designed to be consistent with the project and design theme of the area the project is located. The base must be composed of the same masonry material as is used for the building for which the sign identifies.

- F. Construction: All monument signs shall be constructed of low maintenance materials, and shall be placed in a landscaped area. All wiring and construction support components shall be concealed. (Ord. 2008-17, 7-15-2008)
- G. Illumination: Monument signs may be internally or externally lit in commercial-retail, commercial-mixed, and industrial zones. Monument signs in residential, agricultural, or professional office zones may only be lit with concealed lighting. (Ord. 2010-20, 12-7-2010)
- H. Regulated Area: Refer to figure 7 of this section for an illustration of how area, height, and clearance are determined.

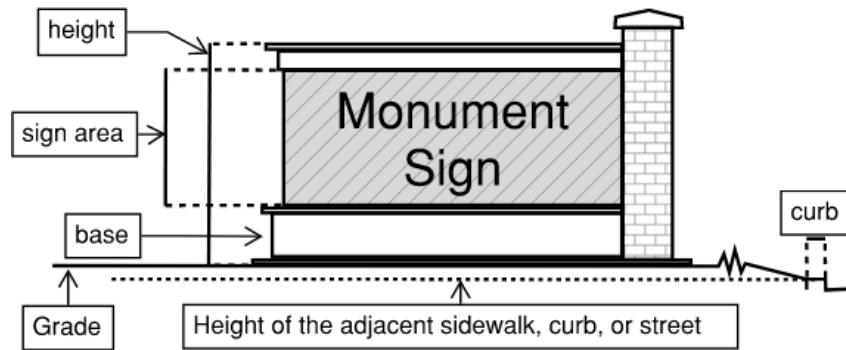


Figure 7 - Monument Sign

- I. City Markers: Monuments or city markers, such as city entry signs, historical markers, etc., shall be subject to the construction standards adopted by resolution through the city council. (Ord. 2008-17, 7-15-2008)

10-19-9-2: POLE SIGNS

~~Freestanding Pole~~ signs shall be permitted in all commercial zones associated with retail uses. ~~Freestanding Pole~~ signs may be permitted in the Downtown Village Zone associated with civic buildings and uses only, and may be permitted in residential zones for school sites only. ~~All freestanding sign applications are to follow the criteria below: (Ord. 2010-20, 12-7-2010)~~

- A. Area And Height: The areas are based on the acreage of the parcel or site being developed. The maximum allowable size and height shall be as follows:

Subject Area Area of lot where sign is located or Unified Commercial Development (Acres)	Sign Area (Square Feet)	Sign Height (Feet)
Less than 5	200	35
5 to 10	250	35
11 to 20	300	35
Greater than 20	350	35

1. Applicants seeking the approval of a pole sign on private property along I-15 freeway within one hundred fifty feet (150') from the edge of a controlled highway right-of-

way, shall meet the following criteria: **within a Unified Commercial Development shall meet the following criteria:**

- a. The sign must only contain advertisement for multiple tenants within the same Unified Commercial Development; and
 - ~~b. The sign cannot significantly block or impair the vision of buildings, aesthetic or artistic features, or other future signage of the same type (a greater separation may be required); and~~
 - c. All electronic message signs shall come equipped with automatic dimming technology which shall automatically adjust the sign's brightness in direct correlation with the natural ambient light conditions at all times. No electronic message sign shall exceed a brightness of more than three-tenths (0.3) foot candle above the ambient light as measured using a foot candle (lux) meter. (Ord. 2017-41, 10-17-2017)
- B. The sign cannot significantly block or impair the vision of buildings, aesthetic or artistic features, or other future signage of the same type (a greater separation may be required).**
- C. B. C-N Zone: Freestanding-pole** signs in the Commercial Neighborhood (C-N) Zone must remain a minimum distance of one hundred feet (100') away from the nearest residential property line, or the distance equal to the overall height of the sign, whichever is greater. (Ord. 2008-17, 7-15-2008)
- D. C. Density: Only one freestanding sign shall be permitted for every one hundred fifty feet (150') of public or private frontage.**
1. **For a commercial property not associated with a Unified Commercial Development, only one pole sign shall be permitted per lot and must only advertise for businesses on the premises.**
 2. **Only one pole sign shall be permitted for a Unified Commercial Development that is less than 11 acres in size. For a Unified Commercial Development area greater than 11 acres, one sign shall be permitted for every 11 acres within the boundaries of the Unified Commercial Development.**
- E. D. Separation: A minimum separation of ~~one hundred fifty feet (150')~~ three hundred feet (300')** shall be maintained between **pole or pylon freestanding** signs **along a public right-of-way, and two hundred feet (200')** along a private right-of-way. If a proposed **pole or pylon freestanding** sign is to be located along the same frontage as an existing or proposed monument sign, then the **pole or pylon freestanding** sign must have a minimum separation of fifty feet (50') from the monument. ~~(Ord. 2010-20, 12-7-2010)~~
- F. E. Location: All pole freestanding** signs must be located along a designated City right-of-way or private street, at a minimum distance of five feet (5') from **all the** property lines **adjacent to a public right-of-way, private street, and from property lines abutting a residential zone.** In cases where the subject property abuts the interstate right-of-way, a freestanding sign may be located facing the interstate corridor, as long as the sign structure does not project or encroach within the required forty foot (40') interstate buffer. **No sign shall be erected at any intersection improved for vehicular traffic within a triangular area formed by the property lines and their projections and a line connecting them at points twenty five feet (25') from the intersections of the projecting property lines; or as**

determined by the City Engineer in compliance with AASHTO's standards. (~~Ord. 2008-17, 7-15-2008~~)

- G. F. Design: All freestanding signs shall be designed to be consistent with the project and design theme of the area the project is located. The supports of the sign are to be composed of the same masonry material as the building(s) for which the sign identifies. ~~For the Grove, the name of design theme district is to be included on each sign where possible, for branding and to create a sense of place, and the sign supports are to be composed of one or two (2) of the designated materials of the design theme district for which the signs are located (see figure 7 of this section). (Ord. 2010-20, 12-7-2010)~~
- H. G. Construction: All freestanding signs shall be constructed of low maintenance materials, and shall be placed in a landscaped area. All wiring and similar components shall be concealed.
- I. H. Illumination: All **freestanding pole** signs shall be internally lit. Exterior base uplighting may be used to enhance the freestanding structure.
- J. I. Clearance: The minimum clearance for **freestanding pole** signs shall be ten feet (10') from the **ground level of the** adjacent sidewalk, curb or street to the lower edge of the sign cabinet.
- K. J. Regulated Areas: Refer to figures 8 and 9 of this section for an illustration of how area, height, and clearance are determined.

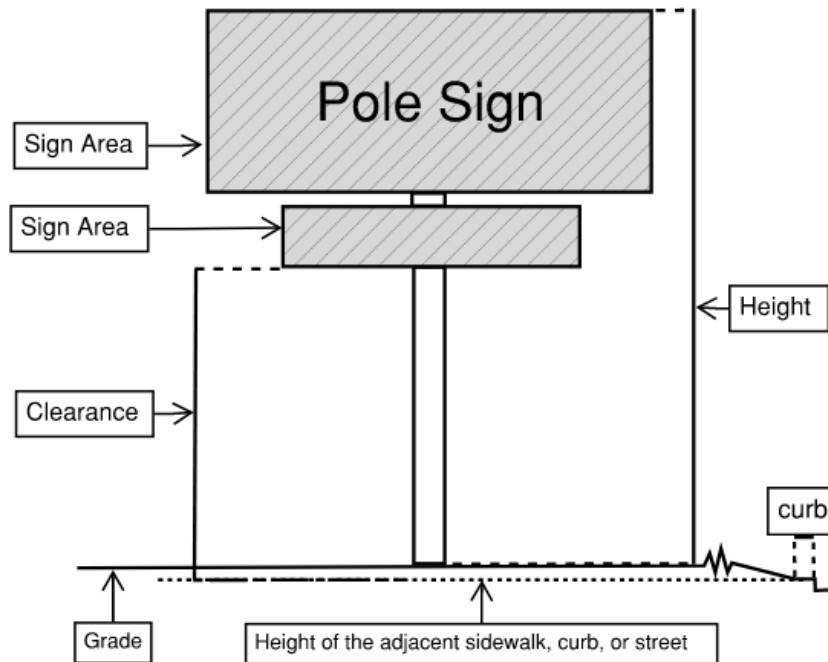


Figure 8 - Pole Sign

- L. K. Height Exception: A greater overall height may be approved by the community development director, as long as all other provisions of this chapter are met, and the sign height does not exceed fifty feet (50').
- M. L. Schools: For all public, private, and charter schools, located in a residential zone, the overall sign area may not exceed one hundred fifty (150) square feet, and the total height,

from finished grade, cannot exceed twenty five feet (25'). Schools shall not be permitted to use flashing, or any animation type of displays for the sign area. Electronic message boards shall be permitted, as long as they meet the requirements of this chapter. (Ord. 2008-17, 7-15-2008)

10-19-9-3: PYLON SIGNS

Pylon signs shall be permitted in the Commercial Sales and Interchange Subdistricts of The Grove Zone.

A. Area, Height and Number of signs: The areas are based on the acreage of the parcel or site being developed. The maximum allowable size and height shall be as follows:

Area of lot where sign is located or Unified Commercial Development (Acres)	Sign Area (Square Feet)	Sign Height (Feet)
Less than 5	200	35
5 to 10	250	35
11 to 20	300	35
Greater than 20	350	35

1. Applicants seeking the approval of a sign on private property within a Unified Commercial Development shall meet the following criteria:
 - a. The sign must only contain advertisement for multiple tenants within the same Unified Commercial Development as defined in Section 10-19-4-1; and
 - b. All electronic message signs shall come equipped with automatic dimming technology which shall automatically adjust the sign's brightness in direct correlation with the natural ambient light conditions at all times. No electronic message sign shall exceed a brightness of more than three-tenths (0.3) foot candle above the ambient light as measured using a foot candle (lux) meter.
- B. The sign cannot significantly block or impair the vision of buildings, aesthetic or artistic features, or other future signage of the same type (a greater separation may be required)
- C. C-N Zone: Pylon signs in the Commercial Neighborhood (C-N) Zone must remain a minimum distance of one hundred feet (100') away from the nearest residential property line, or the distance equal to the overall height of the sign, whichever is greater.
- D. Density:
 1. For a commercial property not associated with a Unified Commercial Development, only one pylon sign shall be permitted per lot and must only advertise for businesses on the premises.
 2. Only one pole sign shall be permitted for a Unified Commercial Development that is less than 11 acres in size. For a Unified Commercial Development area greater than 11 acres, one sign shall be permitted for every 11 acres within the boundaries of the Unified Commercial Development.

- E. Separation: A minimum separation of three hundred feet (300') shall be maintained between pole or pylon signs along a public right-of-way, and two hundred feet (200') along a private right-of-way. If a proposed pole or pylon sign is to be located along the same frontage as an existing or proposed monument sign, then the pole or pylon sign must have a minimum separation of fifty feet (50') from the monument.
- F. Location: All pylon signs must be located along a designated City right-of-way or private street, at a minimum distance of five feet (5') from all property lines adjacent to a public right-of-way, private street, and from property lines abutting a residential zone. In cases where the subject property abuts the interstate right-of-way, a freestanding sign may be located facing the interstate corridor, as long as the sign structure does not project or encroach within the required forty-foot (40') interstate buffer. No sign shall be erected at any intersection improved for vehicular traffic within a triangular area formed by the property lines and their projections and a line connecting them at points twenty-five feet (25') from the intersections of the projecting property lines; or as determined by the City Engineer in compliance with AASHTO's standards.
- G. Design: All freestanding signs shall be designed to be consistent with the project and design theme of the area the project is located.
- H. Construction: All freestanding signs shall be constructed of low maintenance materials, and shall be placed in a landscaped area. All wiring and similar components shall be concealed.
- I. Illumination: All pylon signs shall be internally lit. Exterior base uplighting may be used to enhance the freestanding structure.
- J. Clearance: The minimum clearance for pylon signs shall be four feet (4') from the ground level of the adjacent sidewalk, curb or street to the lower edge of the sign cabinet.

- K. Regulated Areas: Refer to figure 9 of this section for an illustration of how area, height, and clearance are determined.

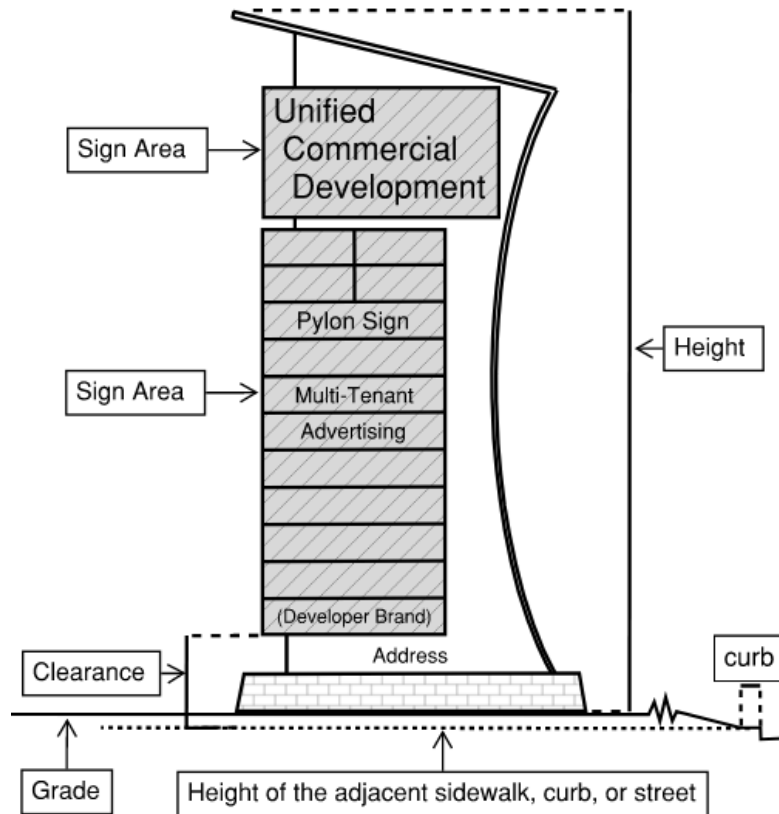


Figure 9 - Pylon Sign

- L. Height Exception: A greater overall height may be approved by the community development director, as long as all other provisions of this chapter are met, and the sign height does not exceed fifty feet (50').
- M. Schools: For all public, private, and charter schools, located in a residential zone, the overall sign area may not exceed one hundred fifty (150) square feet, and the total height, from finished grade, cannot exceed twenty-five feet (25'). Schools shall not be permitted to use flashing, or any animation type of displays for the sign area. Electronic message boards shall be permitted, as long as they meet the requirements of this chapter.

10-19-9-4: BILLBOARD SIGNS

Billboard signs shall only be permitted within one hundred fifty feet (150') of the Freeway/I-15.

- A. Area: The maximum allowable sign area for billboards shall be one thousand two hundred (1200) square feet.
- B. Height: The maximum allowable height for billboards shall be eighty-five feet (85') from the ground to the top of the sign.
- C. Applicants seeking the approval of a sign on private property along I-15 freeway within one hundred fifty feet (150') from the edge of a controlled highway right-of-way, shall meet the following criteria:

1. The sign cannot significantly block or impair the vision of buildings, aesthetic or artistic features, or other future signage of the same type (a greater separation may be required); and
 2. All electronic message signs shall come equipped with automatic dimming technology which shall automatically adjust the sign's brightness in direct correlation with the natural ambient light conditions at all times. No electronic message sign shall exceed a brightness of more than three-tenths (0.3) foot candle above the ambient light as measured using a foot candle (lux) meter.
- D. Density: Only one billboard sign shall be permitted for every one thousand five hundred linear feet (1500') of private or public property within one hundred fifty feet (150') of the Freeway/I-15.
- E. Separation: A minimum separation of one hundred fifty feet (150') shall be maintained between billboard signs and monument, pole, or pylon signs.
- F. Location: All billboard signs must be within 150 feet of the Freeway/I-15 measured perpendicular from the right of way freeway boundary maintaining a minimum distance of fifty (50') from property lines abutting a residential zone. A billboard sign may be located facing the interstate corridor, as long as the sign structure does not project or encroach within the required forty-foot (40') interstate buffer. No sign shall be erected at any intersection improved for vehicular traffic within a triangular area formed by the property lines and their projections and a line connecting them at points twenty-five feet (25') from the intersections of the projecting property lines; or as determined by the City Engineer in compliance with AASHTO's standards.
- G. Design: All freestanding signs shall be designed to be consistent with the project and design theme of the area the project is located.
- H. Construction: All freestanding signs shall be constructed of low maintenance materials, and shall be placed in a landscaped area. All wiring and similar components shall be concealed.
- I. Illumination: All billboard signs shall be internally lit. Exterior base uplighting may be used to enhance the freestanding structure.
- J. Clearance: The minimum clearance for billboard signs shall be ten feet (10') from the ground level of the adjacent sidewalk, curb or street to the lower edge of the sign cabinet.
- K. Regulated Areas: Refer to figure 10 of this section for an illustration of how area, height, and clearance are determined.

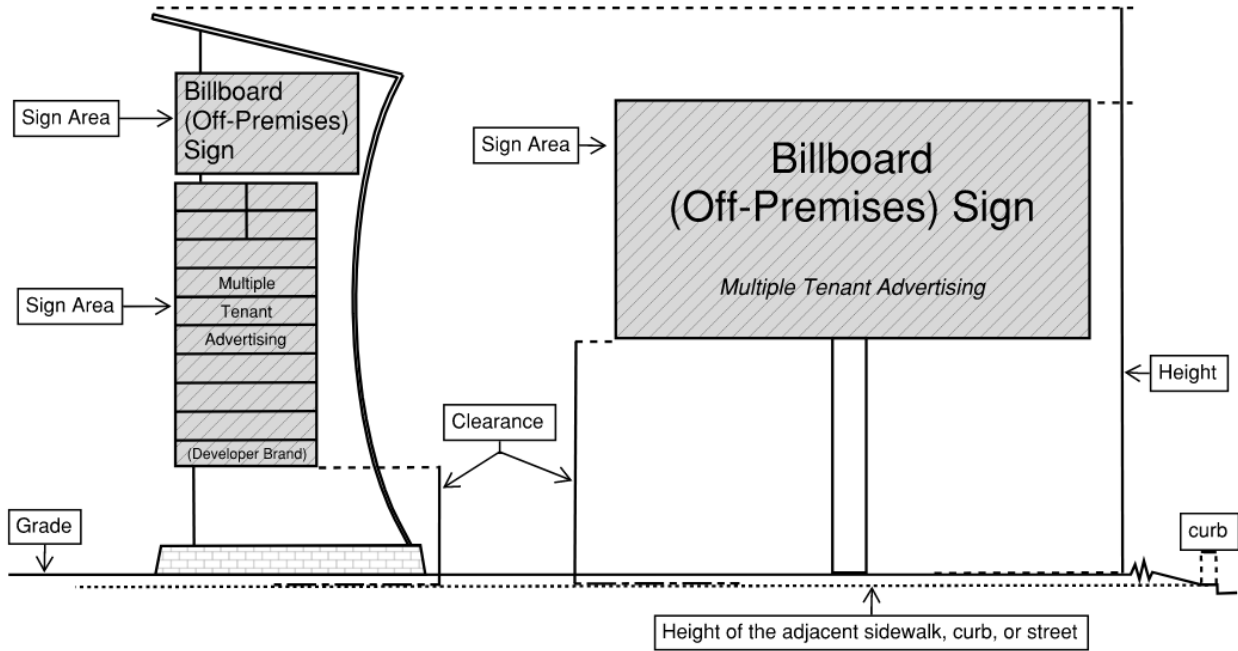


Figure 10 - Billboard Signs

10-19-10: MONUMENT SIGNS:

Monument signs shall be permitted in all zones. Monument signs in residential and agricultural zones may only be installed in conjunction with an approved subdivision development, agricultural business, church, school, and an institutional or recreational facility. All monument sign applications are to follow the criteria below, unless otherwise stated in this chapter: (Ord. 2010-20, 12-7-2010)

A. Area And Height: The maximum allowable size and height shall be as follows:

Subject Area (Acres)	Sign Area (Square Feet)	Sign Height (Feet)
-		
Less than 10	32	4
10 to 20	48	6
Greater than 20	64	8

1. Height Exception: A monument sign falling under the category of less than ten (10) acres may elevate the height of the sign by no more than two feet (2') with the construction of a base or landscaped berm. For all other categories of monument signs, a decorative base or raised finished grade will be included in the calculation of the monument's height.

B. Density: Only one monument sign shall be permitted for each project area, lot, parcel, frontage or project pad.

~~—C. Separation: A minimum separation of one hundred feet (100') shall be maintained between monument signs. If a proposed monument sign is to be located along the same frontage as an existing or proposed freestanding sign, then the monument sign must have a minimum separation of fifty feet (50') from the freestanding sign.~~

~~—D. Location: All monument signs must be located along a designated city right of way or private street at a minimum distance of five feet (5') from the property line, and shall be located as near as possible to the center of the street frontage for those project areas, lots or parcels along street frontage.~~

~~—E. Design: All monument signs shall be designed to be consistent with the project and design theme of the area the project is located. The base must be composed of the same masonry material as is used for the building for which the sign identifies (see figure 10 of this section).~~

~~—F. Construction: All monument signs shall be constructed of low maintenance materials, and shall be placed in a landscaped area. All wiring and construction support components shall be concealed. (Ord. 2008-17, 7-15-2008)~~

~~—G. Illumination: Monument signs may be internally or externally lit in commercial retail, commercial mixed, and industrial zones. Monument signs in residential, agricultural, or professional office zones may only be lit with concealed lighting. (Ord. 2010-20, 12-7-2010)~~

~~—H. Regulated Area: Refer to figures 11 and 12 of this section for an illustration of how area, height, and clearance are determined.~~

~~—I. City Markers: Monuments or city markers, such as city entry signs, historical markers, etc., shall be subject to the construction standards adopted by resolution through the city council. (Ord. 2008-17, 7-15-2008)~~

10-19-10 10-19-11: WALL SIGNS:

Wall signs shall be permitted in all zones. Wall signs in residential and agricultural zones may only be installed in conjunction with an approved church site, school, institutional or recreational facility. Wall signs shall be placed only on building facades. The city has identified that there are three (3) different commercial areas of the city where the development goals for these areas have an impact on wall signage; therefore, this section shall have three (3) separate subsections defining the criteria for these separate types of wall signs. The three (3) commercial areas are the grove district, State Street district, and the downtown village district. Please refer to the map on file with the city. All wall sign applications are to follow the criteria below, unless otherwise stated in this chapter:

- A. The Grove District: The grove district area for wall signs is identical to the combined grove and BMP zoning districts. The requirements of this subsection shall apply to any property with a grove or BMP zoning designation. The city's objective is to keep the highest standards for every aspect of commercial development in these commercial zoned areas. Wall signs in the grove and BMP zones are to adhere to the following standards:

1. Design: Wall signs shall have individual opaque or translucent (nontransparent) plex faced pan channel letters or raised molded letters no less than a half inch (0.5") thick. Logos may take the form of a flat faced cabinet sign. Wall signs shall be harmonious with other signs and structures to which they are attached. Wall signs may extend from the wall, but no more than eighteen inches (18") from the surface of the wall. Wall signs shall not extend above the roofline, parapet or eaves (see



Figure 11 - Wall Sign



Figure 12 - Wall Sign

figures ~~13~~ 11 and ~~14~~ 12 of this section).

- a. A sign cabinet or panel box may be used with the above criteria, only if it is a logo or secondary verbiage to the main company name/title. The area of the cabinet shall be counted towards the maximum allowed area of the wall sign (see figure ~~15~~ 13 of this section).



Figure 13 - Channel Letters

- b. Residential developments may be identified with wall signs composed of metal, concrete or masonry, not exceeding twenty (20) square feet in area, and may be mounted on a masonry wall at the entrance to a development.

2. Area: Unless otherwise stated in this chapter, the sign area shall not exceed ten percent (10%) of the front building or retail space facade. The maximum allowable area for the sides and rear of a building or retail space facade shall be five percent (5%) of that facade (see figure ~~16~~ 15 of this section).
 3. Construction: Wall signs shall be constructed of low maintenance materials. All wiring, mounting hardware and similar components shall be concealed.
 4. Illumination: Wall signs may be internally or externally lit. Exposed bulbs or neon may only be permitted through the design review board if consistent with the design theme for the area.
- B. State Street District: This district is represented by the C-G, C-S, CS-2, and P-O zones boundaries, unless otherwise stated in this chapter. The State Street district has been created mainly in part to the significant amount of existing commercial business in this district that already use flat faced cabinet signage. The regulations of this section shall also be applied to residential zoned properties that are home to a church, school, institutional or recreational facilities only.
1. Design: Individual channel or raised/molded letter signs are preferred; however, a flat faced cabinet sign may be allowed in this district. All wall signs shall be harmonious with other signs and structures to which they are attached. Wall signs may extend from the wall, but no more than eighteen inches (18") from the surface of the wall. All signs shall not extend above the roofline, parapet or eaves (see figures ~~17~~ 13 and ~~18~~ 14 of this section).

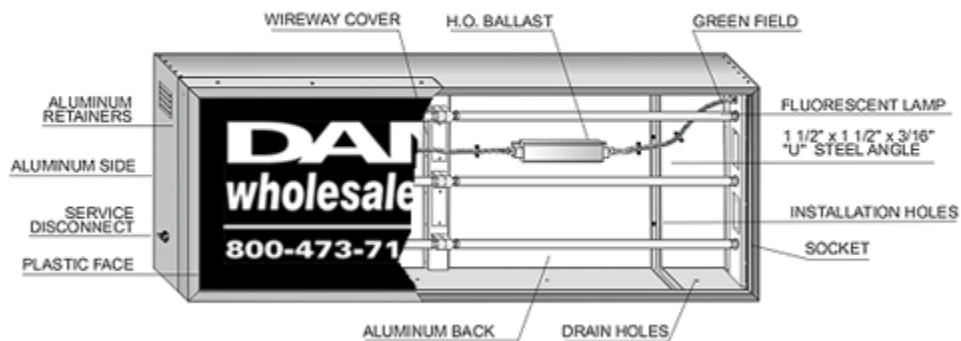
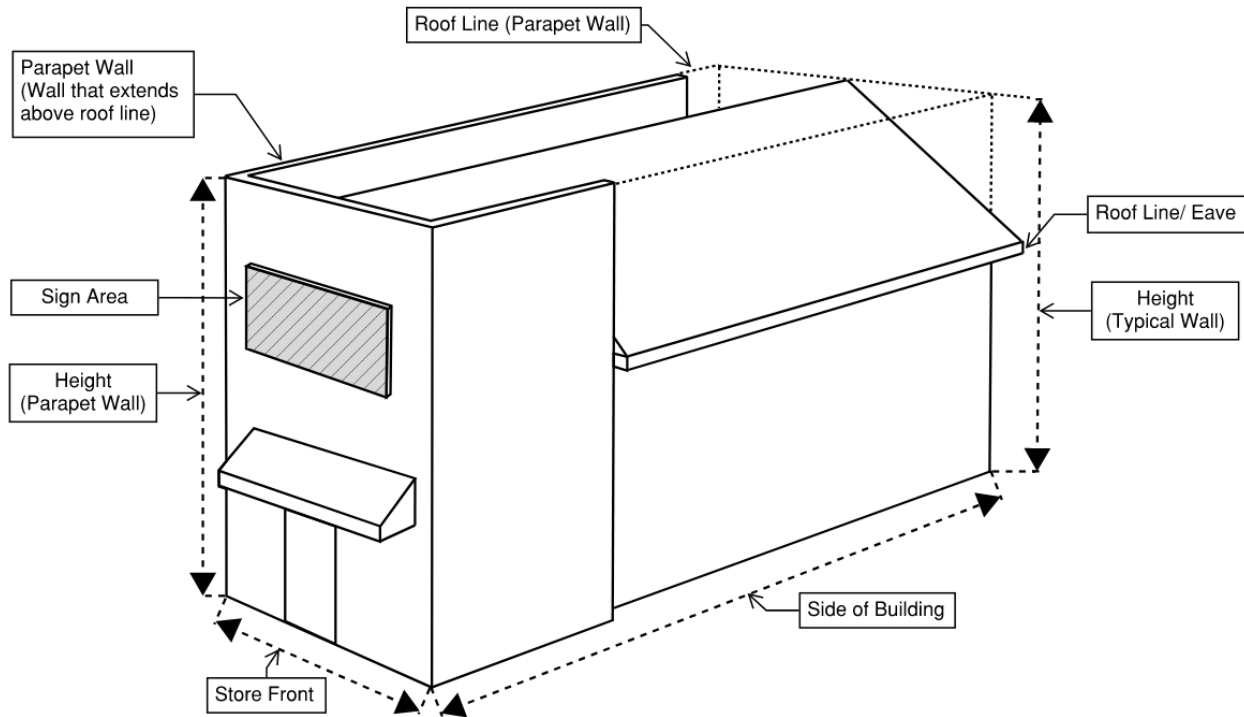


Figure 14 - Sign Cabinet Details

2. Area: Unless otherwise stated in this chapter, the sign area shall not exceed ten percent (10%) of the front building or retail space facade. The maximum allowable area for the sides and rear of a building or retail space facade shall be five percent (5%) of that facade (see figure ~~16~~ 15 of this section).



Area = the store front width (or the length of the side of building) multiplied by the height of the wall.

In the case of multiple commercial units sharing a façade, the store front will be the same width as the corresponding commercial unit on the interior of the building (from wall to wall).

Figure 15 - Wall Sign Placement

- a. In the C-N zone, wall sign areas shall not exceed five percent (5%) of the total facade of the retail space or building facade which faces a property that is residential in use.
 3. Construction: Wall signs shall be constructed of low maintenance materials. All wiring, mounting hardware and similar components shall be concealed.
 4. Illumination: Unless otherwise stated in this section, wall signs may be internally or externally lit in commercial, mixed commercial and industrial zones. Wall signs in the commercial neighborhood (C-N) zone and residential zones shall only use concealed lighting. Exposed bulbs or neon shall not be permitted unless otherwise stated in this chapter.
- C. Downtown Village District: This district area is identical to the downtown village zone boundaries, which includes all subdistricts. The objective of this district is to match the goals and objectives of the zone and the downtown 2020 action plan. The intent is to preserve the old downtown character while creating new growth, business, and living opportunities in the downtown area, and maintain a consistent image. The city shall require that all signage follows these objectives:
1. Wall signs during this period is a lost art, so the city requires the use of suspended/projecting, or awning signage as a first priority for businesses seeking

facade advertisement. For these preferred signage options, refer to the subsequent section (section [10-19-12](#) of this chapter) for the specific criteria needed to comply.

2. A molded sign with raised lettering **or a channel letter sign** may be used as a secondary sign once a suspended/projecting or awning sign is installed. If a molded wall sign is to be installed the following regulations are to be met:
 - a. Design: For the molded signs, these signs are to have raised lettering, a minimum one-fourth inch ($\frac{1}{4}$ ") thick, and the sign structure may extend from the wall, but no more than eighteen inches (18") from the surface. All signs shall not extend above the roofline, parapet or eaves.
 - b. Area: Unless otherwise stated in this chapter, the sign area shall not exceed ten percent (10%) of the front building or retail space facade. The maximum allowable area for the sides and rear of a building or retail space facade shall be five percent (5%) of that facade (see figure ~~16~~ **15** of this section).
 - c. Construction: Wall signs shall be constructed of low maintenance materials. All wiring, mounting hardware and similar components shall be concealed.
 - d. Illumination: Unless otherwise stated in this section, these wall signs are to have external lighting in the form of gooseneck lighting fixtures, or other appropriate lighting fixtures that meet the design restrictions for the downtown area. Any lighting must be shielded to prevent glare. Exposed bulbs or neon shall not be permitted unless otherwise stated in this chapter. (Ord. 2010-20, 12-7-2010)

10-19-11 ~~10-19-12~~: SUSPENDED/PROJECTING, MARQUEE AND AWNING SIGNS:

The following signs are allowed only in commercial zones. Suspended/projecting, and awning signs are required in the downtown village zone as the first priority for front facade signage. These sign types are allowed to project from the building facade, upon meeting the conditions listed in this section: (Ord. 2010-20, 12-7-2010)

- A. Suspended/Projecting: Signs shall be installed prior to a flat wall sign or in addition to flat wall signs that meet the criteria set forth in section [10-19-11](#) of this chapter. All applications

for a suspended sign in the downtown village zone shall be subject to the zoning design criteria (see figures 19 16 and 20 17 of this section).

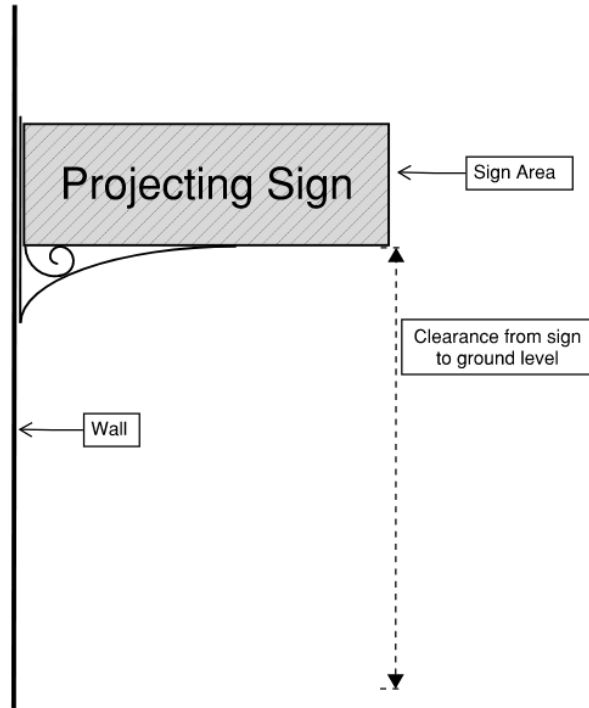


Figure 16 - Projecting Sign

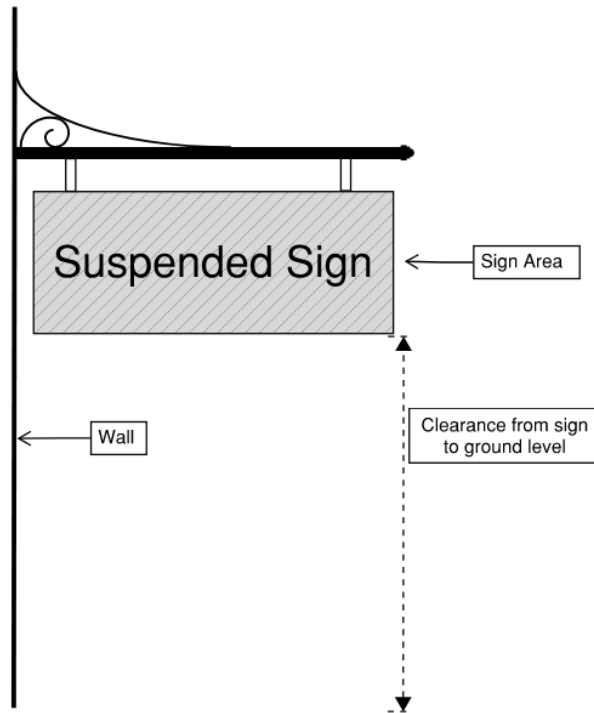


Figure 17 - Suspended Sign

1. Number Allowed: Only one suspended sign shall be allowed per retail facade. This will be limited to street level tenants in multi-story buildings.
 2. Minimum Clearance: Any such sign, projecting into the public way, shall have a minimum clearance of eight feet (8'), and shall not extend more than eight feet (8') from the building facade.
 3. Minimum Separation: Each suspended sign shall have a minimum separation of twenty feet (20').
 4. Maximum Area/Thickness: No such sign shall exceed twenty four (24) square feet in sign area and twelve inches (12") in thickness.
 5. Electronic Message Centers Prohibited: Electronic message centers are not allowed with this type of sign.
 6. Illumination: Only direct downlighting may be used. (Ord. 2017-4, 1-17-2017)
- B. Marquee Signs: This sign type should blend with the building architecture and aesthetics. The design should enhance the exterior of the building and not place too much bulk nor be an excessive external distraction on the building's exterior (see figure 21 18 of this section).

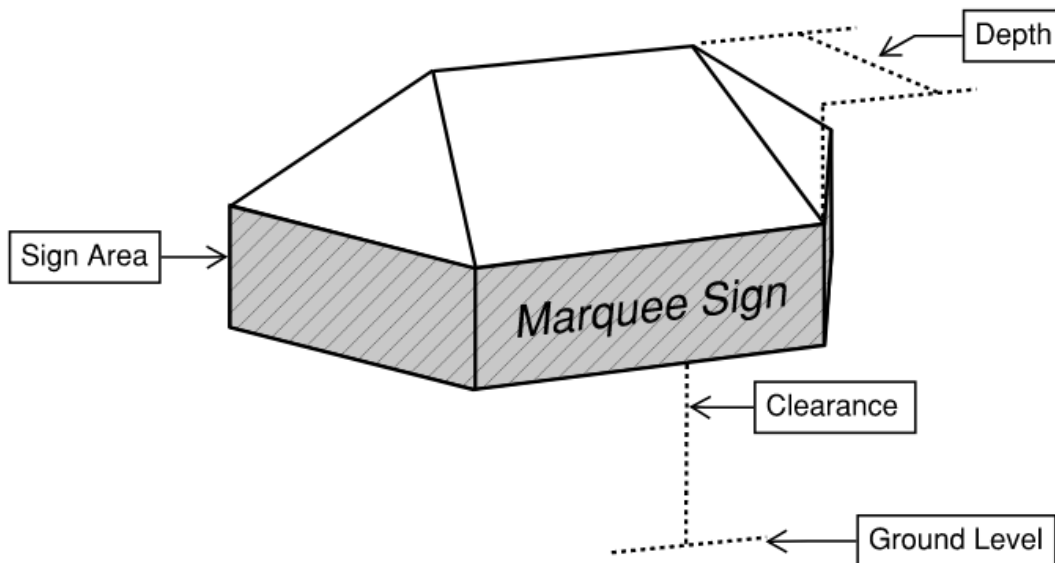


Figure 18 - Marquee Sign

1. Construction: Marquee signs shall be constructed of low maintenance materials. All wiring, mounting hardware and similar components shall be concealed.
2. Illumination: Marquee signs may only be internally lit.
3. Clearance: Any such sign, projecting into the public way, shall have a minimum clearance of ten feet (10'), and shall not extend more than eight feet (8') from the building facade.
4. Number Allowed: Only one sign shall be allowed per facade. This will be limited to street level tenants in multi-story buildings.
5. Electronic Message Centers: Electronic message centers shall be allowed with this type of sign. Applicants proposing more than fifty percent (50%) of the sign area for this purpose must obtain approval from the community development director.

C. Awning: These sign types are backlit fabric signs, permitted in commercial and office zones. All awning sign applications are to follow the criteria below, unless otherwise stated in this chapter:

1. Area: The maximum allowable area of an awning sign shall not exceed ten percent (10%) of the front building facade. Awnings ~~placed on canopies or marquees~~ may not exceed four feet (4') in height, and shall provide a minimum of seven feet (7') clearance from the ground. The area used for copy or design shall not exceed twenty five percent (25%) of the awning. Where flat signs and awning signs are used on the same wall, no more than ten percent (10%) of the wall area may be covered by signs. Awning signs are only allowed on the front facade (see figure ~~22~~ 19 of this

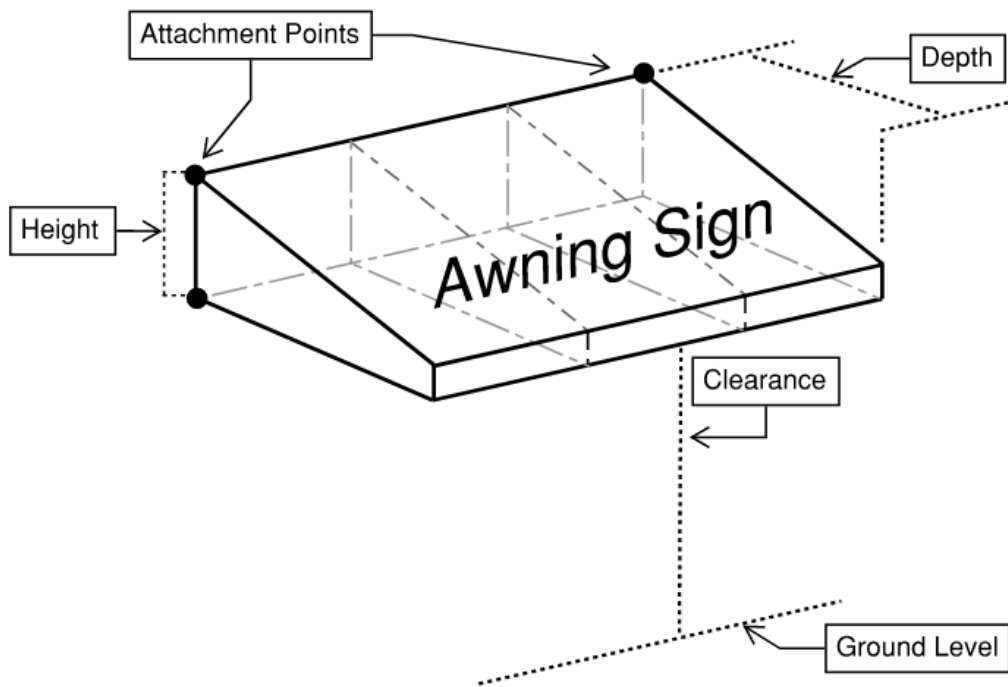


Figure 19 - Awning Sign

- section).
2. Design: Awning signs shall incorporate compatible colors and materials to complement the architecture of the building. A maximum of three (3) colors, including the copy color, may be used on the awning sign.
3. Construction: Awning signs shall be constructed of low maintenance materials. All wiring, mounting hardware and similar components shall be concealed.
4. Illumination: Awning signs may only be internally lit. (Ord. 2010-20, 12-7-2010)

10-19-12 ~~10-19-13~~: SIGNS PERMITTED IN OTHER ZONES:

For those zoning districts which do not have sign regulations as a part of the zone provisions, and for those which are not readily placed into classifications referred to in preceding sections, the planning commission shall classify said zones as either: residential (R), agricultural (A),

commercial (C), business manufacturing park (BMP), or industrial (M) zones, depending upon the similarity of the characteristics and permitted uses of said zone to those already classified. When such a classification has been made by the planning commission, the sign provisions applying to the respective classification shall apply to said zones. (Ord. 2000-23, 7-18-2000)

10-19-13 ~~10-19-14~~: PROHIBITED SIGNS:

The following signs and others, not specifically allowed or exempted by this chapter, are prohibited:

- A. Animated: Signs with moving parts, flashing or intermittent lighting, except time and temperature signs.
- B. Bench: Signs, public or private.
- C. ~~Billboards: For existing billboard signs, a municipality may only require a termination of such a sign and associated property rights through the following:~~
 - ~~a. Gift by consenting owner;~~
 - ~~b. Purchase allowed by consenting owner;~~
 - ~~c. Agreement with consenting owner;~~
 - ~~d. Exchange between consenting owner; or~~
 - ~~e. Eminent domain (refer to the state code for this type of acquisition).~~
- C. ~~D~~. Clear vision area: Signs, within or projecting into a clear vision area, with a height between three feet (3') and ten feet (10').
- D. ~~E~~. Flagpoles: Signs or banner poles in excess of thirty five feet (35') tall.
- E. ~~F~~. Flashing.
- F. ~~G~~. Graffiti.
- G. ~~H~~. Inflated: Signs which are filled with air, and anchored to the ground or structure, except for in the C-G, C-S, and CS-2 zones.
- H. ~~I~~. Movable or portable: Unless otherwise stated in this chapter, signs not permanently installed in the ground or on pole supports, such as "A-frame", pedestal, portable reader signs, signs that are an appendage or attachment to the vehicle, or similar devices.
- I. ~~J~~. Obsolete: Abandoned signs or messages, which identify services no longer provided on the premises.
- J. ~~K~~. Off premises: Except for development, **permitted billboards**, and exempt signs.
- K. ~~L~~. Poster or painted: Signs that are high maintenance or lack durability.
- L. ~~M~~. Projecting: Are not allowed unless otherwise stated in this chapter.
- M. ~~N~~. Promotional: Any device that is not specifically allowed by this chapter. Any such sign may be removed by the city at any time.
- N. ~~O~~. Public property: Signs found on public property or attached to any public utility pole, sign, bridge or structure, except public necessity or regulatory signs. Any nonpermitted sign may be removed without notice by the city or other agencies owning the public property or infrastructure. In no case shall the failure to remove said signs constitute approval by the city.
- O. ~~P~~. Roof mounted: Signs shall not extend or project above the roofline, parapet or eaves (see figure ~~23~~ **15** of this section). (Ord. 2010-20, 12-7-2010)
- P. ~~Q~~. Sculptures: Signs including reproductions of products, actual products, statuary or other objects representing a product, location, service, or entity.

- Q. R. Sexually oriented: Any display, decoration, sign or show window that provides the observation of any material depicting or relating to specified sexual activities or specified anatomical areas.
- R. S. Snipe: Signs, temporary in nature, that are easily attached to pole structures. See examples in section [10-19-16](#) of this chapter.
- S. T. Sound or emissions: No sign shall be designated for the purpose of emitting sound, smoke or steam.
- T. U. Statuary: Signs bearing the likeness or suggestion of any product or logo.
- U. V. Wind: Except devices limited to grand openings only. See examples in section [10-19-16](#) of this chapter. (Ord. 2008-10, 4-15-2008)

10-19-14 ~~10-19-15~~: NONCONFORMING SIGNS:








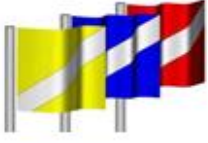
















- A. On Premises Signs: All on premises or appurtenant signs which have been made nonconforming by the adoption of provisions contained within this chapter shall be subject to the following regulations:
 1. Unsafe Signs: Any sign or portion thereof declared unsafe by a proper public authority must be restored to a safe condition or removed within thirty (30) days of mailing or otherwise given notice of the unsafe condition.
 2. Alterations: A nonconforming sign shall not be reconstructed, raised, moved, placed, extended or enlarged unless said sign is changed so as to conform to all provisions of this chapter. "Alterations" shall not be interpreted to include changing the text or copy on off premises advertising signs, theater signs, outdoor bulletins or other similar signs which are designed to accommodate changeable copy.
 3. Restoration: Nonconforming signs which have been allowed to deteriorate or which have been damaged by fire, explosion, act of God, act of a public enemy, or damaged by any other cause, to the extent of more than sixty percent (60%) of its assessed value shall, if repaired or rebuilt, be repaired or rebuilt in conformity with the regulations of this chapter or shall be removed. (Ord. 2010-20, 12-7-2010)
- B. Off Premises Signs: All off premises signs which are made nonconforming uses by the provisions of this chapter shall be subject to the following:
 1. Unsafe Signs: Any sign or portion thereof found or declared unsafe in a manner provided by law, which may be repaired without violating subsection B2 of this section, must be restored to a safe condition within thirty (30) days after the owner is given notice of the unsafe condition. Any sign not repaired as required and permitted by this subsection is unlawfully maintained and subject to the provisions of subsection 10-19-18A of this chapter.
 2. Alterations: All off premises signs and their supporting structures shall be kept in good appearance and condition with normal maintenance and repair (example: painting), but it shall be unlawful to reconstruct, raise, move, place, extend or enlarge such signs or the structure supporting such signs. Any sign or sign structure altered contrary to the provisions of this subsection is unlawfully maintained and subject to the provisions of subsection 10-19-18A of this chapter.
 3. Deterioration And Abandonment: A nonconforming off premises sign or sign structure that ceases to be used for sign purposes for a period of one year shall be deemed abandoned on the grounds that the nonconforming use has been

abandoned, the nonconforming use has substantially changed or such other grounds as may be appropriate. Any sign or sign structure which is abandoned or in an unreasonable state of repair is unlawfully maintained and subject to immediate revocation of its permit and removal pursuant to the provisions of subsection 10-19-18A of this chapter.

4. Termination Of Nonconforming Signs: Except where preempted by federal law, a sign permit for an existing off premises nonconforming sign shall terminate and the sign shall be removed pursuant to the provisions of subsection 10-19-18A of this chapter on the date the owner of the sign has been able to recover or amortize the fair market value of the sign pursuant to state law. Using relevant information, including, but not limited to, information provided by the sign owner in the sign permit application, relevant aesthetic and traffic engineering information, and amortization periods used by other jurisdictions, the administration may establish an amortization period and condemnation value for each nonconforming sign that balances the harm to the owner against the public good without imposing an undue burden upon the owner. The amortization value may not be less than the condemnation value, but no more, and shall take into consideration the cost of operation to the owner over the amortization period. A sign maintained after expiration of the related permit, as described in this subsection, is unlawfully maintained and subject to revocation of its permit and removal pursuant to the provisions of subsection 10-19-18A of this chapter. (Ord. 2008-10, 4-15-2008)

10-19-15 ~~10-19-16~~: TEMPORARY SIGN TYPES:

- A. Temporary Sign Examples: The following are illustrations of typical sign types that are allowed on a temporary basis, or otherwise restricted by this chapter: (Ord. 2008-10, 4-15-2008)

Portable Signs			
Real Estate Signs			
Wind Signs			
Snipe Signs			
Automotive Goods			
Banners			
Inflatable			
Mobile Signs			

10-19-16 ~~10-19-17~~: DOWNTOWN VILLAGE SIGNS:

- A. The downtown village zone has certain design standards (see sections [10-19-11](#) and [10-19-12](#) of this chapter) that require the recommendation of the downtown advisory board, or in their absence the design review board, prior to permit approval. (Ord. 2017-4, 1-17-2017)

10-19-17 ~~10-19-18~~: VIOLATIONS:

- A. Violations: It is unlawful to erect or maintain a sign contrary to the provisions of this chapter. If a sign is erected or maintained in violation of this chapter, the community development director may do the following:
1. Order the defect corrected within a fixed period of time, not exceeding thirty (30) days, if correction of the defect will bring the subject sign into compliance with the provisions of this chapter; but
 2. If correction of the defect will result in a violation of the provisions of this chapter, order that the subject sign be removed by and at the expense of the owner of the sign, within a fixed period of time not exceeding thirty (30) days.
 3. If the owner of the sign fails or refuses to remove the subject sign at the order of the community development director, a citation may be issued and additional fees may be assessed, or the city may remove the sign at any time after the owner thereof exhausts his or her administrative remedies in relation thereto, unless otherwise ordered by a court of law. Removal by the city shall be at the expense of the owner, and the city may obtain judgment against the owner in an amount equal thereto, together with reasonable attorney fees and costs. (Ord. 2008-10, 4-15-2008)

10-19-18 ~~10-19-19~~: APPEALS:

If an applicant is aggrieved by a decision of the community development department staff concerning the interpretation of the provisions of this chapter for new applications, the applicant may appeal the decision to the community development director. If the applicant continues to be aggrieved by the decision of the community development director, then the applicant may file an appeal with the city council within ten (10) days of the director's decision. The following additional provisions are to be followed:

- A. For signs that are nonconforming, if the owner of the sign contests the order of the community development director, the remedy shall be an appeal to the appeal authority, which appeal shall be taken in the time and manner otherwise provided in title 2, chapter 4 of this code for appeals to the appeal authority. (Ord. 2008-10, 4-15-2008)

SECTION 2. SEVERABILITY. The sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable. If any such section, paragraph, sentence, clause, or phrase shall be declared invalid or unconstitutional by the valid judgment or decree of a Court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any of the remaining sections, paragraphs, sentences, clauses, or phases of this Ordinance.

SECTION 3. EFFECTIVE DATE. This ordinance shall take effect immediately upon its passage and posting as provided by law.

SECTION 4. APPROVED AND ADOPTED AND MADE EFFECTIVE by the City Council of Pleasant Grove City, Utah County, Utah, this 17th day of October, 2023.

Guy L. Fugal, Mayor

ATTEST: (SEAL)

Kathy T. Kresser, MMC
City Recorder

Motion: Council Member _____

Second: Council Member _____

<u>ROLL CALL</u>	<u>Yes</u>	<u>No</u>	<u>Abstain</u>	<u>Absent</u>
Mayor Guy L. Fugal	_____	_____	_____	_____
Dianna Andersen	_____	_____	_____	_____
Brent Bullock	_____	_____	_____	_____
Eric Jensen	_____	_____	_____	_____
Cyd LeMone	_____	_____	_____	_____
Todd Williams	_____	_____	_____	_____

CERTIFICATE OF POSTING ORDINANCE
Pleasant Grove City Corporation

I, the duly appointed recorder for the City of Pleasant Grove, hereby certify that a summary of the foregoing Ordinance No. 2023-24_ was posted on the State (<http://pmn.utah.gov>) website on this ____ day of _____, 2023.

Dated this _____ day of _____, 2023.

Kathy T. Kresser, MMC, City Recorder

City Council Staff Report

November 7, 2023

Item 9B

TEXT AMENDMENT PROPOSAL

REQUEST Request to amend City Code Section 10-12B-2: Permitted Uses of the Manufacturing Distribution Zone

APPLICANT City of Pleasant Grove

ZONE City Wide

STAFF RECOMMENDATION Approve the proposed amendment to the City Code.

ATTACHMENTS Proposed Text Amendment

3

Background

The development of a new park has been proposed on property located at approximately 430 North 600 West. This property is currently zoned as the Manufacturing Distribution (M-D) Zone, which does not include Use #7600: Parks.

Analysis

Use #7600 includes all types of parks, from general recreation parks (such as Discovery Park) and leisure and ornamental parks (such as a botanical garden) to campgrounds and undeveloped park land.

Parks, or even open space in general, is important for both residential and commercial areas to help beautify the surrounding area and to provide environmental and recreation benefits. Adding a park promotes the health and community engagement of the public and may even increase safety through environmental design.

Recommendation from Staff

Overall, Staff finds there is no detriment to the public safety or welfare and no negative impacts are anticipated by including this use in the M-D Zone. Staff recommends approval of the proposed code text amendment to add Use #7600: Parks to the M-D Zone.

Recommendation from Planning Commission

Pleasant Grove City Planning Commission took the following action on the described application at their meeting on October 12, 2023.

5. Public Hearing: Code Text Amendment – Section 10-12B-2: Manufacturing Distribution Zone (City Wide)

Public Hearing to consider a request from Pleasant Grove City to amend City Code Section 10-12B-2, Permitted, Conditional, and Accessory Uses, by modifying the provisions and requirements for permitted principal uses within the Manufacturing Distribution (M-D) Zone, to permit Use #7600 (Parks).

RECOMMEND APPROVAL

Motion: At the Public Hearing, Commissioner Patten moved the Planning Commission forward a recommendation of approval to the City Council for the request for a code text amendment to City Code Section 10-12B-2: Permitted Uses of the Manufacturing Distribution Zone by adding Use #7600 - Parks; and adopting the exhibits, conditions, and findings of the staff report, Commissioner Redding seconded the motion. Redding, Patten and Phillips voted "Aye". Fugal and Shirley voted "Nay". The motion carried with a 3 to 2 vote.

Motion by: Commissioner Patten

Seconded by: Commissioner Redding

AYE VOTES: Chair Phillips, Patten, Redding

NAY VOTES: Fugal, Shirley

ORDINANCE NO. 2023-27

AN ORDINANCE OF PLEASANT GROVE CITY, UTAH COUNTY, UTAH, AMENDING SECTION 10-12B-2: PERMITTED USES IN THE MANUFACTURING DISTRIBUTION ZONE, EXPANDING THE PERMITTED USES TO INCLUDE USE #7600 PARKS; INCLUDING AN EFFECTIVE DATE (PLEASANT GROVE CITY, APPLICANT).

WHEREAS, the applicant, Pleasant Grove City proposes to add use #7600 Parks, to the list of permitted uses in the Manufacturing Distribution (MD) Zone; and

WHEREAS, on October 12, 2023, the Pleasant Grove City Planning Commission held a public hearing to consider amending City Code Section 10-12B-2: Manufacturing Distribution Zone, permitted uses, by adding Use #7600, Parks, to the list of permitted uses in the Manufacturing Distribution (MD) Zone; and

WHEREAS, at its public hearing the Planning Commission decided that the requested amendment to Section City Code Section 10-12B-2: Manufacturing Distribution Zone, permitted uses, by adding Use #7600, Parks, to the list of permitted uses in the Manufacturing Distribution (MD) Zone is in the public's interest and is consistent with the written goals and policies of the General Plan; and

WHEREAS, the Pleasant Grove Planning Commission recommended to the Pleasant Grove City Council that the amendment to Section 10-12B-2: Manufacturing Distribution Zone, permitted uses, by adding Use #7600, Parks, to the list of permitted uses in the Manufacturing Distribution (MD) Zone, be approved; and

WHEREAS, on November 7, 2023 the Pleasant Grove City Council held a public hearing to consider the request; and

WHEREAS, at its meeting the Pleasant Grove City Council was satisfied that the amendment to the Pleasant Grove Municipal Code is in the best interest of the public and is consistent with the goals and policies of the General Plan; and

WHEREAS, it is the legislative body's intent that the city code amendments shall be in the interest of the public; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of Pleasant Grove City, Utah County, State of Utah as follows:

SECTION 1. Modified Section 10-12B-2: TABLE OF PERMITTED, CONDITIONAL AND ACCESSORY USES, of the Pleasant Grove Municipal Code is hereby amended to read as follows:

10-12B-2: PERMITTED, CONDITIONAL, AND ACCESSORY USES

A. Uses Listed Permitted: The following principal, private and commercial uses and structures, and no others, are permitted in the MD zone (see section [10-15-2](#) of this title for establishment of uses not specified).

B. Standard Land Use Code: All uses contained herein are listed by a four (4) digit number as designated in the standard land use code published and maintained by the community development department.

C. Permitted With Limitations: All such categories listed herein and all specific uses contained within them in the standard land use code will be permitted in the MD zone, subject to the limitations set forth therein:

Use Number	Use Classification
2170	Confectionery and related products
2185	Bottling and canning soft drinks and water
2200	Textile mill products
2300	Apparel and other similar finished products
2440	Wooden containers, manufacturing
2500	Furniture and fixtures manufacturing
2650	Paperboard containers and boxes, manufacturing
2700	Printing, publishing and related industries
2830	Pharmaceutical and nutritional supplements (including biological products, medicinal chemicals and botanical products)
3140	Miscellaneous plastic products, manufacturing
3250	Pottery and related products, manufacturing
3260	Concrete, gypsum and plaster products
3423	Construction, mining and materials handling machinery and equipment
3495	Screw machine products and bolts, nuts, screws, rivets and washers; metal stamping
3500	Professional, scientific, and controlling instruments; photographic and optical goods; watches and clocks

3900	Miscellaneous manufacturing
4200	Motor vehicle transportation
4600	Automobile parking
4700	Communications (except transmitting and relay towers)
4920	Transportation services and arrangements
5100	Wholesale trade (except drugs, chemicals and related products)
5200	Building materials, hardware, farm equipment and supplies
5461	Bakeries, manufacturing
5500	Automotive, marine craft, aircraft and accessories
5600	Wearing apparel and accessories, manufacturing
5710	Furniture, home furnishings, and equipment
5960	Farm and garden supplies
6240	Funeral, cemeteries and crematory services
6250	Apparel repair, alteration and cleaning pick up services, shoe repair services
6370	Warehousing or storage services
6400	Repair services
6514	Medical and dental laboratory services
6540	Research services
6600	Contract construction services
6700	Governmental services (except military)
6711	Administration office services
7600	Parks
8110	Field and seed crops
8120	Truck crops (including vegetables, berries and melons)

8130	Orchards and vineyards
8160	Pastures and rangelands
8170	Horticultural specialties

SECTION 2. SEVERABILITY. The sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable. If any such section, paragraph, sentence, clause, or phrase shall be declared invalid or unconstitutional by the valid judgment or decree of a Court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any of the remaining sections, paragraphs, sentences, clauses or phases of this Ordinance.

SECTION 3. EFFECTIVE DATE. This ordinance shall take effect immediately upon its passage and posting as provided by law.

SECTION 4. APPROVED AND ADOPTED AND MADE EFFECTIVE by the City Council of Pleasant Grove City, Utah County, Utah, this 7th day of November 2023.

Guy L. Fugal, Mayor

ATTEST:

Kathy T. Kresser, MMC
City Recorder

Motion: Council Member _____

Second: Council Member _____

<u>ROLL CALL</u>	<u>Yes</u>	<u>No</u>	<u>Abstain</u>	<u>Absent</u>
Mayor Guy L. Fugal	_____	_____	_____	_____
Dianna Andersen	_____	_____	_____	_____
Brent Bullock	_____	_____	_____	_____
Eric Jensen	_____	_____	_____	_____
Cyd LeMone	_____	_____	_____	_____
Todd Williams	_____	_____	_____	_____

CERTIFICATE OF POSTING ORDINANCE

Pleasant Grove City Corporation

I, the duly appointed recorder for the City of Pleasant Grove, hereby certify that a summary of the foregoing Ordinance No. _____ was posted on the State (<http://pmn.utah.gov>) website on this ____ day of _____, 2023.

Dated this _____ day of _____, 2023.

Kathy T. Kresser, MMC, City Recorder

RESOLUTION NO. 2023-052

A RESOLUTION OF THE GOVERNING BODY OF PLEASANT GROVE CITY AUTHORIZING THE MAYOR TO DECLARE A 2016 FORD F-150 CREW CAB TRUCK AND A 2016 FORD F-150 EXTENDED CAB TRUCK AS SURPLUS AND DIRECT THAT THEY BE DISPOSED OF ACCORDING TO THE CITY'S POLICY FOR DISPOSING OF SURPLUS PROPERTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Public Works Department has a 2016 Ford F-150 Crew Cab Truck and a 2016 Ford F-150 Extended Cab Truck that they would like to surplus; and

WHEREAS, the City has established a process for selling or disposing of surplus property with a value of more than \$500.00; and

WHEREAS, the City would like to surplus a 2016 Ford F-150 Crew Cab Vin# 1FTFW1EG5GKF56923 and a 2016 Ford F-150 Extended cab Vin #1FTEX1EP2GKF04884 as surplus and direct that they be disposed of according to the City's policy; and

WHEREAS, the City Council finds that it is in the best interests of the City to divest itself of the item(s) and recoup their fair market value for the citizens by selling said surplus property.

NOW THEREFORE, BE IT RESOLVED by the City Council of Pleasant Grove, Utah as follows:

SECTION 1.

The Mayor hereby declares a 2016 Ford F-150 Crew Cab Truck and a 2016 Ford F-150 Extended Cab Truck as surplus and directs that they be disposed of according to the City's policy for disposing of surplus property.

SECTION 2.

The provisions of this Resolution shall take effect immediately.

PASSED AND ADOPTED BY THE CITY COUNCIL OF PLEASANT GROVE, UTAH,
this 7th day of November 2023.

Guy L. Fugal, Mayor

ATTEST:

(SEAL)

Kathy T. Kresser, MMC
City Recorder

Motion: Council Member _____

Second: Council Member _____

<u>ROLL CALL</u>	<u>Yes</u>	<u>No</u>	<u>Abstain</u>	<u>Absent</u>
Mayor Guy L. Fugal	_____	_____	_____	_____
Dianna Andersen	_____	_____	_____	_____
Brent Bullock	_____	_____	_____	_____
Eric Jensen	_____	_____	_____	_____
Cyd LeMone	_____	_____	_____	_____
Todd Williams	_____	_____	_____	_____

WHEN RECORDED RETURN TO:

Pleasant Grove City
Kathy Kresser
70 South 100 East
Pleasant Grove, Utah 84062

ORDINANCE NO. 2023-17

PUBLIC HEARING TO CONSIDER FOR ADOPTION AN ORDINANCE TO ADJUST THE COMMON BOUNDARY BETWEEN PLEASANT GROVE CITY AND AMERICAN FORK CITY. THE PROPOSED AREA TO BE ADJUSTED IS OWNED BY BRUCE C. BLACK AND MONICA R. BLACK OR THEIR SUCCESSORS AS TRUSTEES OF THE BLACK FAMILY TRUST DATED APRIL 21, 2021. PARCEL NUMBER: 14-018-0087; LOCATED AT APPROXIMATELY 1600 W 2000 N PLEASANT GROVE, UTAH (1485 E 300 N, AMERICAN FORK, UT) AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 10-2-419, Utah Code Annotated, 1953, as amended, establishes a procedure and criteria for the adjustment of the common boundary between adjacent municipalities; and

WHEREAS, Pleasant Grove City and American Fork City have each received requests from the owners, Bruce C. Black and Monica R. Black or Their Successors as Trustees of the Black Family Trust Dated April 21, 2021. Parcel Number: 14-018-0087; located at approximately 1600 W 2000 N Pleasant Grove, Utah which is situated contiguous to the common boundary between the municipalities requesting that the owner's property be transferred from the municipal jurisdiction of American Fork City and into Pleasant Grove City; and

WHEREAS, the boundary adjustment is being requested by the owners of the property because the subject parcel was purchased to combine with their parcel that already lies within the municipal boundary of Pleasant Grove; and

WHEREAS, the Pleasant Grove City Council approved Resolution 2022-064 on December 6, 2022 stating its intent to adjust the said common boundaries; and

WHEREAS, the Pleasant Grove City Council held a public hearing on August 15, 2023 to consider approving said boundary adjustment and to receive public comment; and

WHEREAS, the Pleasant Grove City Council held a public meeting on November 7, 2023 to readopt Ordinance 2023-17 to meet State Code.

WHEREAS, said petition appears to comply with requirements of Section 10-2-402 and Section 10-2-403, Utah Code Annotated, 1953 as amended.

NOW, THEREFORE, pursuant to Section 10-2-407, Utah Code, the City Council of Pleasant Grove City, Utah, hereby adopts and passes the following:

BE IT ORDAINED BY THE CITY COUNCIL OF PLEASANT GROVE, UTAH AS FOLLOWS:

SECTION 1.

The City Council of Pleasant Grove City, in accordance with the terms of Utah State Law relating to boundary adjustments found in Utah Code Annotated § 10-2-419, hereby joins American Fork City in requesting that the following Parcel14-018-0087 be transferred into Pleasant Grove City.

SECTION 2.

The City Council of Pleasant Grove hereby indicates its desire and intent to adjust the common boundary with American Fork City, as described in Exhibit “A” which is attached hereto and incorporated herein by reference.

SECTION 3. SEVERABILITY.

The sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable. If any such section, paragraph, sentence, clause or phrase shall be declared invalid or unconstitutional by the valid judgment or decree of a Court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any of the remaining sections, paragraphs, sentences, clauses or phrases of this Ordinance.

SECTION 4. EFFECTIVE DATE.

This ordinance shall take effect upon its passage and shall be posted or published as required by law.

PASSED AND APPROVED AND MADE EFFECTIVE by the City Council of Pleasant Grove City, Utah County, Utah, this 15th day of August, 2023. Re-adopted this 7th day of November 2023.

PLEASANT GROVE CITY CORPORATION

Guy L. Fugal, Mayor

ATTEST:

Kathy T. Kresser, MMC
City Recorder

(S E A L)

Motion: Council Member _____
Second: Council Member _____

ROLL CALL	Yea	Nay	Abstain
Mayor Guy L. Fugal	_____	_____	_____
Dianna Andersen	_____	_____	_____
Brent Bullock	_____	_____	_____
Eric Jensen	_____	_____	_____
Cyd LeMone	_____	_____	_____
Todd Williams	_____	_____	_____

CERTIFICATE OF POSTING ORDINANCE
Pleasant Grove City Corporation

I, the duly appointed recorder for the City of Pleasant Grove, hereby certify that a summary of the foregoing Ordinance No. 2023-17 was posted on the State (<http://pmn.utah.gov>) website on this 15th day of August, 2023.

Dated this _____ day of _____, 2023.

Kathy T. Kresser, MMC, City Recorder

Exhibit A

BOUNDARY DESCRIPTION

Parcel to Change from American Fork City to Pleasant Grove City

A parcel of land, to be transferred from American Fork City to Pleasant Grove City, situate in Section 18, Township 5 South, Range 2 East, salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point which is located South 0°25'04" East 483.58 feet along the Section line and East 2497.42 feet from the found 3" brass Utah County Surveyor monument, dated 1981, at the West Quarter Corner of Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian, and running:

thence North 0°20'41" East 461.26 feet to the southeast corner of the Hansen Ranch Phase 2" subdivision, as recorded February 5, 2018, under Entry no. 11185:2018, and Map no. 15902, in the Utah County Recorder's office;

thence South 89°55'00" East 4.80 feet along the extension of the south line of said subdivision, to the current City Limits line between American Fork Qty and Pleasant Grove City;

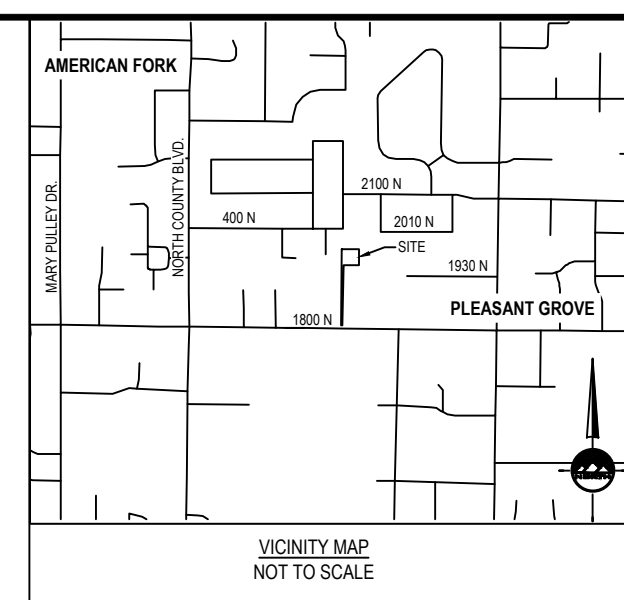
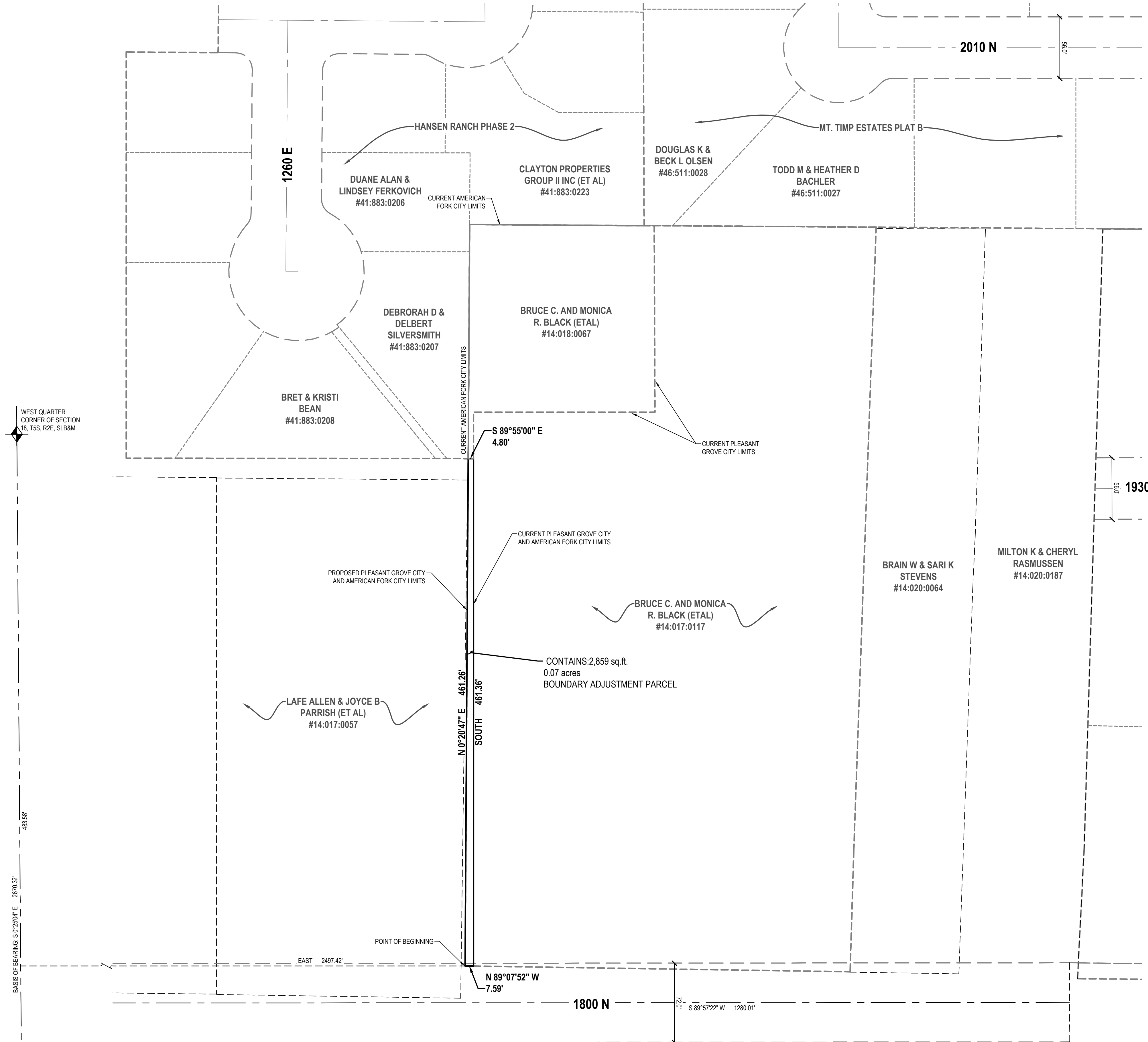
thence South 461.36 feet along said City Limits line;

thence North 89°07'52" West 7.59 feet, to the Point of Beginning.

Parcel contains: 2,859 square feet, or 0.066 acres.

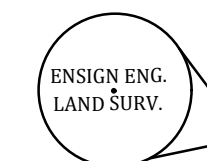
BLACKS BOUNDARY ADJUSTMENT

LOCATED IN THE WEST HALF
OF SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN,
PLEASANT GROVE CITY, UTAH COUNTY, UTAH



LEGEND

- SECTION CORNER
- EXISTING STREET MONUMENT
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP OR NAIL STAMPED "ENSGN ENG. & LAND SURV."
- PUBLIC UTILITY & DRAINAGE EASEMENT
- PROPERTY LINE
- SECTION LINE
- ROAD CENTER LINE
- EASEMENT LINE



SURVEYOR'S CERTIFICATE

I, DUSTY BISHOP do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. 4938720 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as BLACKS BOUNDARY ADJUSTMENT, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

BOUNDARY DESCRIPTION
Parcel to Change from American Fork City to Pleasant Grove City

A parcel of land, to be transferred from American Fork City to Pleasant Grove City, situate in Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point which is located South 0°25'04" East 483.58 feet along the Section line and East 2497.42 feet from the found 3" brass Utah County Surveyor monument, dated 1981, at the West Quarter Corner of Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian, and running:

thence North 0°20'47" East 461.26 feet to the southeast corner of the "Hansen Ranch Phase 2" subdivision, as recorded February 5, 2018, under Entry no. 11185-2018, and Map no. 15902, in the Utah County Recorder's office;

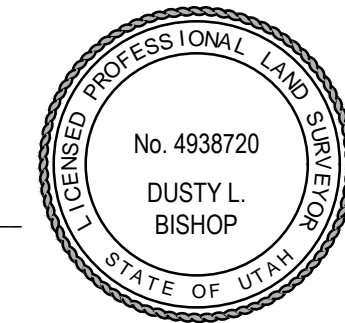
thence South 89°55'01" East 4.80 feet along the extension of the south line of said subdivision, to the current City Limits line between American Fork City and Pleasant Grove City;

thence South 461.36 feet along said City Limits line;

thence North 89°07'53" West 7.59 feet, to the Point of Beginning.

Parcel contains: 2,859 square feet, or 0.066 acres.

Date _____ Dusty L. Bishop
License no. 4938720



ACCEPTANCE BY LEGISLATIVE BODY - AMERICAN FORK CITY

THIS IS CERTIFY THAT WE THE UNDERSIGNED AMERICAN FORK CITY COUNCIL HAVE ADOPTED A RESOLUTION OF ITS INTENT TO ANNEX THE TRACT OF LAND SHOWN HEREON AND HAVE SUBSEQUENTLY ADOPTED AN ORDINANCE ANNEXING SAID TRACT INTO AMERICAN FORK CITY, UTAH AND THAT A COPY OF THE ORDINANCE HAS BEEN PREPARED FOR FILING HEREWITH ALL IN ACCORDANCE WITH UTAH CODE SECTION 10-2-418 AS REVISED AND THAT WE HAVE EXAMINED AND DO HEREBY APPROVE AND ACCEPT THE ANNEXATION OF THE TRACT AS KNOWN AS A PART OF SAID CITY AND THAT SAID TRACT OF LAND IS TO BE KNOWN HEREAFTER AS "PLEASANT GROVE #14:018:0067 ANNEXATION"

THIS _____ DAY OF _____, A.D. 20____

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

ACCEPTANCE BY LEGISLATIVE BODY - PLEASANT GROVE CITY

THIS IS CERTIFY THAT WE THE UNDERSIGNED PLEASANT GROVE CITY COUNCIL HAVE ADOPTED A RESOLUTION OF ITS INTENT TO ANNEX THE TRACT OF LAND SHOWN HEREON AND HAVE SUBSEQUENTLY ADOPTED AN ORDINANCE ANNEXING SAID TRACT INTO PLEASANT GROVE CITY, UTAH AND THAT A COPY OF THE ORDINANCE HAS BEEN PREPARED FOR FILING HEREWITH ALL IN ACCORDANCE WITH UTAH CODE SECTION 10-2-418 AS REVISED AND THAT WE HAVE EXAMINED AND DO HEREBY APPROVE AND ACCEPT THE ANNEXATION OF THE TRACT AS KNOWN AS A PART OF SAID CITY AND THAT SAID TRACT OF LAND IS TO BE KNOWN HEREAFTER AS "BLACKS BOUNDARY ADJUSTMENT"

THIS _____ DAY OF _____, A.D. 20____

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of UTAH

On the _____ day of _____, A.D., 20____

By: BRUCE C. BLACK
TRUSTEE OF THE BLACK FAMILY TRUST

By: MONICA R. BLACK
TRUSTEE OF THE BLACK FAMILY TRUST

personally appeared before me, the undersigned Notary public, in and for said County of _____ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, _____ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES: _____

By: _____

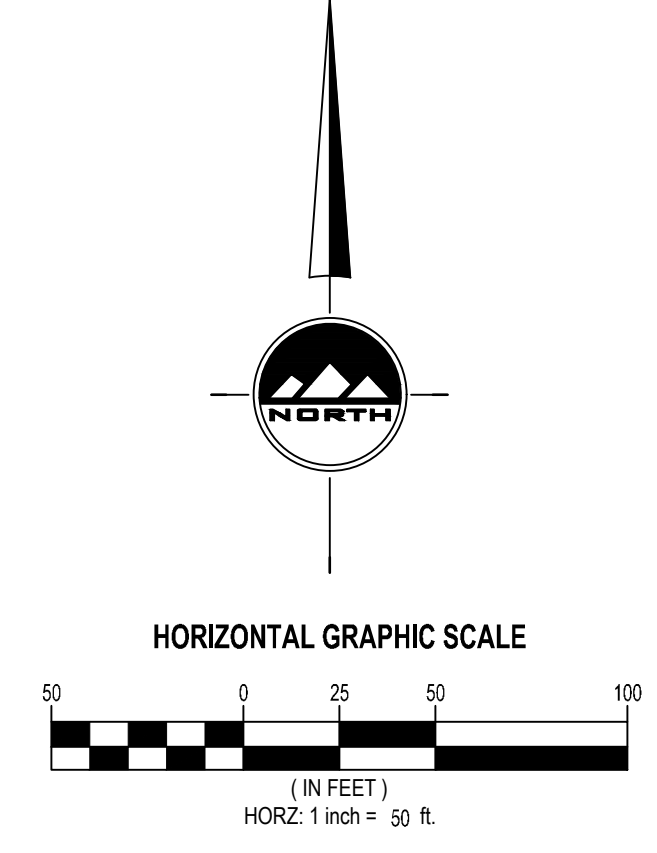
NOTARY PUBLIC RESIDING IN _____ COUNTY.

COUNTY SURVEYOR

THIS PLAT HAS BEEN REVIEWED BY THE UTAH COUNTY SURVEYOR AND IS HEREBY CERTIFIED AS A FINAL LOCAL ENTITY PLAT, PURSUANT TO UTAH CODE ANNOTATED 17-23-20 AS AMENDED

COUNTY SURVEYOR _____ DATE _____

SEAL



LOCATED IN THE WEST HALF
OF SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN,
PLEASANT GROVE CITY, UTAH COUNTY, UTAH

SHEET

PROJECT NUMBER : 12316
MANAGER : K. CHAPPELL
DRAWN BY : D. SCHAUGAARD
CHECKED BY : D. BISHOP
DATE : 03/13/2023



SALT LAKE CITY
45 W. 10000 S, Suite 500
Sandy, UT, 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSGNENG.COM

LAYTON
Phone: 801.547.1100
TODDLE
Phone: 435.943.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.895.2983

BLACKS BOUNDARY ADJUSTMENT

LOCATED IN SECTION 18, TOWNSHIP 5 SOUTH,
RANGE 2 EAST, SALT LAKE BASE & MERIDIAN
PLEASANT GROVE, UTAH COUNTY, UTAH

Report Criteria:

Invoices with totals above \$0 included.
 Only unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND							
10-13100 ACCTS REC.- CITY EMPLOYEES							
4614	L.N. CURTIS & SONS	748215	PD/PERSONAL SUPPLIES	09/22/2023	291.00	.00	
4614	L.N. CURTIS & SONS	752879	PD/PERSONAL SUPPLIES	10/05/2023	166.58	.00	
4614	L.N. CURTIS & SONS	753205	PD/PERSONAL SUPPLIES	10/05/2023	229.39	.00	
4614	L.N. CURTIS & SONS	753504	PD/PERSONAL SUPPLIES	10/06/2023	144.95	.00	
7505	SKAGGS COMPANIES, IN	450A1867321	PD/PERSONAL SUPPLIES	09/15/2023	126.99	.00	
10-15820 SDA EXPENSE ACCOUNT							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	87.67	.00	
10-21230 STATE INSURANCE PAYABLE							
8954	UTAH LOCAL GOVT. INS.	1609684	LIABILITY DEDUCTIBLE	10/06/2023	1,200.00	.00	
8954	UTAH LOCAL GOVT. INS.	1609926	WORKERS COMP	10/13/2023	8,178.18	.00	
10-21245 VISION INSURANCE PAYABLE							
8070	SUPERIOR VISION SERVI	765272	VISION INSURANCE	10/01/2023	1,669.08	.00	
10-24260 AMER. FAMILY LIFE PAYABLE							
309	AM. FAMILY LIFE ASSUR	591591	SUSPENSE PREMIUM	10/12/2023	255.54	.00	
9288	WASHINGTON NATIONAL	P2367451	INSURANCE PREMIUM	10/01/2023	309.90	.00	
10-24350 SENIOR CITIZEN CLEARING							
5478	MOUNTAINLAND ASSOCI	09302023	SR. CNTR/CONTRIBUTION	09/30/2023	1,787.00	.00	
10-34-280 AMBULANCE FEES							
3350	GOLD CROSS SERVICES	3444	AMBULANCE BILLING SERVICES	09/30/2023	3,433.00	.00	
Total :					17,879.28	.00	
JUDICIAL							
10-42-240 OFFICE EXPENSE							
2122	CULLIGAN BOTTLED WA	465X23137005	JUDICIAL/DRINKING WATER	09/30/2023	39.00	.00	
Total JUDICIAL:					39.00	.00	
NON-DEPARTMENTAL							
10-43-220 PRINTING AND PUBLICATION							
3151	FREEDOM MAILING SER	46328	NEWSLETTERS	10/05/2023	82.21	.00	
8730	UPPER CASE PRINTING,	982	MENU PRINTING EXPENSE	10/05/2023	263.03	.00	
8730	UPPER CASE PRINTING,	982	10052023	10/05/2023	485.25	.00	
10-43-510 INSURANCE & BONDS							
8954	UTAH LOCAL GOVT. INS.	1609924	AUTO DAMAGE ENDORSEMENT	10/13/2023	802.13	.00	
8954	UTAH LOCAL GOVT. INS.	1609925	EQUIPMENT ENDORSEMENT	10/13/2023	411.34	.00	
10-43-610 MISCELLANEOUS EXPENSE							
3151	FREEDOM MAILING SER	46328	EXTRA INSERTS	10/05/2023	73.07	.00	
10-43-760 TECHNOLOGY							
4747	LES OLSON COMPANY	A1329366	MONTHLY CONTRACTED SERVICE	10/16/2023	1,571.62	.00	
9040	UTOPIA FIBER	CIV202310-03	INTERNET SERVICE	10/01/2023	715.00	.00	
Total NON-DEPARTMENTAL:					4,403.65	.00	
LEGAL SERVICES							
10-44-240 OFFICE EXPENSE							
5729	ODP BUSINESS SOLUTIO	333965189001	LEGAL/OFFICE SUPPLIES	10/17/2023	29.99	.00	
5729	ODP BUSINESS SOLUTIO	336410756001	LEGAL/OFFICE SUPPLIES	10/12/2023	12.84	.00	
5729	ODP BUSINESS SOLUTIO	33959463001	LEGAL/OFFICE SUPPLIES	10/17/2023	30.77	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total LEGAL SERVICES:					73.60	.00	
ADMINISTRATIVE SERVICES							
10-46-240 OFFICE EXPENSE							
5729	ODP BUSINESS SOLUTIO	330729108001	ADM/OFFICE SUPPLIES	10/16/2023	79.96	.00	
5729	ODP BUSINESS SOLUTIO	336410756001	ADM/OFFICE SUPPLIES	10/12/2023	23.44	.00	
5729	ODP BUSINESS SOLUTIO	336604485001	ADM/OFFICE SUPPLIES	10/16/2023	28.87	.00	
10-46-930 COMMUNITIES THAT CARE GRANT							
5033	MACEYS	382682	CTC/EVENT SUPPLIES	09/26/2023	72.48	.00	
5033	MACEYS	385859	CTC/ADVERTISING SUPPLIES	10/09/2023	405.29	.00	
Total ADMINISTRATIVE SERVICES:					610.04	.00	
FACILITIES							
10-47-510 CITY HALL - HEATING EXPENSE							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	41.56	.00	
10-47-520 CITY HALL - POWER EXPENSE							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	1,602.95	.00	
10-47-550 PARKS - LIGHTS							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	337.11	.00	
10-47-580 OLD BELL SCHOOL - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	7.16	.00	
10-47-600 POLICE - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	105.62	.00	
10-47-640 FIRE/AMBULANCE - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	225.18	.00	
10-47-650 FIRE/AMBULANCE - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	1,672.33	.00	
10-47-680 CEMETERY BLDG - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	42.75	.00	
10-47-690 CEMETERY BLDG - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	226.57	.00	
10-47-710 LIBRARY/SENIOR - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	25.96	.00	
10-47-720 LIBRARY/SENIOR - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	1,588.77	.00	
10-47-730 LIBRARY/SENIOR - BLDG MAINT							
970	BJ PLUMBING SUPPLY	001010741	BUILDING MAINTENANCE	10/02/2023	26.00	.00	
5470	MOUNTAIN ALARM FIRE	4004388	LIB/FIRE ALARM MONITORING	10/16/2023	180.00	.00	
5470	MOUNTAIN ALARM FIRE	4004389	LIB/ELEVATOR MONITORING	10/17/2023	48.00	.00	
10-47-750 PUMP HOUSE - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	10.46	.00	
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	21.60	.00	
10-47-760 PUBLIC WORKS - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	59.43	.00	
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	20.67	.00	
10-47-770 PUBLIC WORKS - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	794.94	.00	
10-47-790 RENTAL PROPERTY EXPENSES							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	23.90	.00	
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	266.29	.00	
10-47-810 SR CENTER - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	24.81	.00	
10-47-820 SR CENTER - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	317.69	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
10-47-830 SR CENTER - BLDG MAINT							
1522	CERTIFIED ALARM SERVI	21633	MONITORING SERVICES	10/10/2023	38.00	.00	
10-47-845 LIONS CENTER HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	45.43	.00	
10-47-910 ARTS - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	5.99	.00	
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	261.75	.00	
10-47-920 HISTORIC LIBRARY-HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	35.90	.00	
10-47-930 HISTORIC LIBRARY - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	35.00	.00	
Total FACILITIES:					8,091.82	.00	
ENGINEERING							
10-51-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945215985	MULTI DEPT/CELL PHONE EXEPNS	09/23/2023	66.58	.00	
10-51-745 SIGNALS & FLASHERS							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	188.47	.00	
Total ENGINEERING:					255.05	.00	
COMMUNITY DEVELOPMENT							
10-52-250 VEHICLE EXPENSE							
3468	GREASE MONKEY #790	290593	COM DEV/VEHICLE EXPENSE	08/21/2023	119.42	.00	
10-52-332 PROFESSIONAL SERVICES							
8055	SUNRISE ENGINEERING,	0137820	COM DEV/BUILDING INSPECTOR	10/12/2023	1,580.00	.00	
9365	WEST COAST CODE CO	UT23-599-001	COM DEV/INSPECTION SERVICES	10/03/2023	3,378.04	.00	
10-52-480 DEPARTMENTAL SUPPLIES							
5139	MCGEE'S STAMP & TROP	116631	COM DEV/NOTARY STAMP	09/19/2023	35.00	.00	
10-52-610 MISCELLANEOUS							
4225	INTERMOUNTAIN WORK	3454240	COM DEV/DRUG SCREEN	10/16/2023	34.00	.00	
Total COMMUNITY DEVELOPMENT:					5,146.46	.00	
POLICE DEPARTMENT							
10-54-240 OFFICE EXPENSE							
2122	CULLIGAN BOTTLED WA	465X23105002	PD/DRINKING WATER	09/30/2023	44.25	.00	
4970	LOTT'S ORIGINALS	9895	PD/OFFICE SUPPLIES	09/08/2023	111.25	.00	
10-54-250 VEHICLE EXPENSE							
3468	GREASE MONKEY #790	292443	PD/VEHICLE MAINTENANCE	10/03/2023	90.45	.00	
3468	GREASE MONKEY #790	292456	PD/VEHICLE MAINTENANCE	10/04/2023	90.45	.00	
3468	GREASE MONKEY #790	292458	PD/VEHICLE MAINTENANCE	10/04/2023	112.94	.00	
4523	KEN GARFF FORD	4FCS522900	PD/VEHICLE REPAIR	10/04/2023	330.00	.00	
10-54-280 TELEPHONE EXPENSE							
1518	CENTURY LINK	09282023	PD/ALARM PHONE LINE	09/28/2023	77.34	.00	
1518	CENTURY LINK	09282023	PD/ALARM PHONE LINE	09/28/2023	77.34	.00	
1518	CENTURY LINK	09282023	PD/ELEVATOR PHONE LINE	09/28/2023	80.82	.00	
10-54-300 UNIFORM EXPENSE							
7505	SKAGGS COMPANIES, IN	450A1936711	PD/UNIFORM EXPENSE	09/15/2023	132.94	.00	
8260	THE INK SPOT	46103	PD/BEANIES	10/03/2023	497.00	.00	
10-54-480 DEPARTMENTAL SUPPLIES							
3012	FORENSIC NURSING SE	1383	PD/DEPARTMENTAL SUPPLIES	10/03/2023	140.00	.00	
3012	FORENSIC NURSING SE	1396	PD/SPECIMEN COLLECTION	10/10/2023	280.00	.00	
4655	LANGUAGE LINE SERVIC	11116495	PD/INTERPRETATION	09/30/2023	44.14	.00	
5033	MACEYS	374800	PD/SUPPLIES	10/10/2023	44.07	.00	
8280	THE RADAR SHOP INC.	RS-12827	PD/DEPARTMENTAL SUPPLIES	09/15/2023	288.50	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
8361	THOMSON REUTERS - W	849047493	PD/SOFTWARE SUBSCRIPTION CH	10/01/2023	246.00	.00	
Total POLICE DEPARTMENT:					2,687.49	.00	
FIRE DEPARTMENT							
10-55-250 VEHICLE EXPENSE							
675	AUTO ZONE STORES, IN	6231288055	FIRE/VEHICLE MAINTENANCE	10/16/2023	10.17	.00	
5833	O'REILLY AUTOMOTIVE I	SC04337809	PD/LATE FEE	08/28/2023	1.72	.00	
6278	PLEASANT GROVE BIG O	044250-52942	FIRE/VEHICLE EXPENSE	10/17/2023	1,304.28	.00	
10-55-300 UNIFORM EXPENSE							
507	APPARATUS EQUIPMENT	23-IV-6108	FIRE/BOOTS	05/05/2023	339.00	.00	
507	APPARATUS EQUIPMENT	23-IV-6119	FIRE/UNIFORM EXPENSE	05/16/2023	3,873.60	.00	
507	APPARATUS EQUIPMENT	23-IV-6213	FIRE/BOOTS	08/10/2023	349.00	.00	
507	APPARATUS EQUIPMENT	23-IV-6247	FIRE/BOOTS	10/09/2023	349.00	.00	
4614	L.N. CURTIS & SONS	748215	PD/UNIFORM EXPENSE	09/22/2023	1,035.00	.00	
4614	L.N. CURTIS & SONS	754341	FIRE/UNIFORM EXPENSE	10/10/2023	580.00	.00	
10-55-480 DEPARTMENTAL SUPPLIES							
2123	CULLIGAN WATER COND	465X23094107	FIRE/DEPARTMENTAL SUPPLIES	09/30/2023	147.50	.00	
3841	HENRY SCHEIN INC.	57598763	FIRE/DEPARTMENTAL SUPPLIE	10/02/2023	18.70	.00	
5033	MACEYS	381913	FIRE/DEPARTMENTAL SUPPLIES	10/17/2023	86.80	.00	
5033	MACEYS	381914	FIRE/DEPARTMENTAL SUPPLIES	10/18/2023	23.95	.00	
10-55-610 MISCELLANEOUS							
4225	INTERMOUNTAIN WORK	3454240	FIRE/MRO READ	10/16/2023	52.00	.00	
10-55-650 FIRE PREVENTION							
5033	MACEYS	10162023	FIRE/DEPARTMENTAL SUPPLIES	10/16/2023	31.72	.00	
10-55-740 EQUIPMENT							
507	APPARATUS EQUIPMENT	23-IV-6128CR	FIRE/CREDIT	05/22/2023	329.70-	.00	
1194	BRODY CHEMICAL COMP	36938	FIRE/DEPARTMENTAL SUPPLIES	10/04/2023	69.34	.00	
1194	BRODY CHEMICAL COMP	37009	FIRE/DEPARTMENTAL SUPPLIES	10/05/2023	504.08	.00	
Total FIRE DEPARTMENT:					8,446.16	.00	
STREETS							
10-60-250 VEHICLE EXPENSE							
4748	LES SCHWAB TIRES	50800481711	STR/VEHICLE EXPENSE	10/02/2023	55.98	.00	
5833	O'REILLY AUTOMOTIVE I	3623-100443	STR/VEHICLE EXPENSE	10/04/2023	55.96	.00	
10-60-275 STREET LIGHT POWER							
7062	ROCKY MOUNTAIN POW	09292023	STREET LIGHT	09/29/2023	123.46	.00	
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	2,758.79	.00	
10-60-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945215985	MULTI DEPT/CELL PHONE EXEPNS	09/23/2023	399.48	.00	
10-60-480 DEPARTMENTAL SUPPLIES							
974	BISCO	1679756	STR/DEPARTMENTAL SUPPLIES	10/02/2023	29.60	.00	
1368	C-A-L RANCH STORES	13900/8	STR/BOOTS	10/02/2023	144.99	.00	
1368	C-A-L RANCH STORES	13901/8	STR/SAFETY VEST	10/02/2023	69.99	.00	
5185	METALMART INC.	259440	STR/DEPARTMENTAL SUPPLIES	10/16/2023	102.85	.00	
5870	OUT BACK GRAPHICS LL	19722	STR/DEPARTMENTAL SUPPLIES	10/16/2023	203.00	.00	
7852	STAKER & PARSON COM	6206632	STREETS/DEPARTMENTAL SUPPLI	09/28/2023	452.29	.00	
10-60-610 MISCELLANEOUS EXPENSE							
4225	INTERMOUNTAIN WORK	3454240	STREET/DRUG SCREEN	10/16/2023	34.00	.00	
4225	INTERMOUNTAIN WORK	3454240	STREETS/DRUG SCREEN	10/16/2023	34.00	.00	
Total STREETS:					4,464.39	.00	
LIBRARY							
10-65-240 OFFICE EXPENSE							
2122	CULLIGAN BOTTLED WA	465X23188800	LIB/BOTTLED WATER	09/30/2023	30.35	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
5729	ODP BUSINESS SOLUTIO	336352516001	LIB/OFFICE SUPPLIES	10/04/2023	207.40	.00	
10-65-280 TELEPHONE EXPENSE							
1518	CENTURY LINK	09282023	LIB/ELEVATOR LINE	09/28/2023	83.73	.00	
10-65-480 BOOKS							
4159	INGRAM LIBRARY SERVI	78110185	LIB/BOOKS	09/27/2023	405.43	.00	
4159	INGRAM LIBRARY SERVI	78129539	LIB/BOOKS	09/28/2023	145.75	.00	
4159	INGRAM LIBRARY SERVI	78198462	LIB/BOOKS	10/03/2023	209.97	.00	
5225	MIDAMERICA BOOKS	0015634	LIB/BOOKS	10/04/2023	423.05	.00	
5885	OVER DRIVE, INC.	CD015062320	LIB/BOOKS	07/03/2023	3,036.50	.00	
10-65-485 AUDIO/VISUAL MATERIALS							
5885	OVER DRIVE, INC.	CD015062320	LIB/AUDIO MATERIALS	07/03/2023	3,036.50	.00	
6270	PLAYAWAY PRODUCTS L	437590	LIB/AUDIO MATERIALS	08/04/2023	333.69	.00	
6270	PLAYAWAY PRODUCTS L	444130	LIB/AUDIO MATERIALS	10/13/2023	98.95	.00	
6270	PLAYAWAY PRODUCTS L	444231	LIB/AUDIO MATERIALS	10/17/2023	303.98	.00	
10-65-640 PROCESSING							
2395	DEMCO, INC.	7376458	LIB/ASSORTED SUPPLIES	10/04/2023	395.83	.00	
Total LIBRARY:					8,711.13	.00	
PARKS							
10-70-200 MOWER EXPENSE							
8576	TURF EQUIPMENT	3018805-00	PARK/MOWER EXPENSE	10/05/2023	375.68	.00	
10-70-250 VEHICLE EXPENSE							
675	AUTO ZONE STORES, IN	6231279909	PARK/VEHICLE EXPENSE	10/04/2023	113.26	.00	
675	AUTO ZONE STORES, IN	6231280015	PARK/VEHICLE EXPENSE	10/04/2023	205.99	.00	
10-70-320 SPRINKLER & LANDSCAPE							
81	ACE INTERMOUNTAIN R	12683	PARKS/WASTE REMOVAL	09/30/2023	338.18	.00	
970	BJ PLUMBING SUPPLY	001004214	PARKS/DEPARTMENTAL SUPPLIES	07/27/2023	5.51	.00	
970	BJ PLUMBING SUPPLY	001010858	PARK/DEPARTMENTAL SUPPLIES	10/03/2023	22.14	.00	
970	BJ PLUMBING SUPPLY	001010928	PARKS/DEPARTMENTAL SUPPLIES	10/03/2023	34.60	.00	
970	BJ PLUMBING SUPPLY	001010978	PARKS/DEPARTMENTAL SUPPLIES	10/04/2023	62.31	.00	
970	BJ PLUMBING SUPPLY	001011189	PARKS/DEPARTMENTAL SUPPLIES	10/06/2023	62.31	.00	
8522	TREE SOURCE - PLEASA	1114117-1	PARKS/TOPSOIL	10/03/2023	32.00	.00	
10-70-480 DEPARTMENTAL SUPPLIES							
675	AUTO ZONE STORES, IN	6231279563	PARK/DEPARTMENTAL SUPPLIES	10/03/2023	20.00	.00	
10-70-482 TREE MAINTENANCE							
2477	DREAM SCAPES LANDS	53539	PARKS/TREE TRIMMING	09/26/2023	1,000.00	.00	
2477	DREAM SCAPES LANDS	53588	PARKS/TREE TRIMMING	10/03/2023	900.00	.00	
2477	DREAM SCAPES LANDS	53604	PARKS/TREE TRIMMING	10/05/2023	800.00	.00	
10-70-670 SAFETY EQUIP. & SUPPLIES							
1368	C-A-L RANCH STORES	13916/8	PARK/BOOTS	10/04/2023	604.96	.00	
4208	INTERMOUNTAIN FARME	1019806913	PARK/DEPARTMENTAL SUPPLIES	10/04/2023	209.98	.00	
Total PARKS:					4,786.92	.00	
RECREATION							
10-71-270 POWER EXPENSE							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	281.12	.00	
10-71-280 TELEPHONE EXPENSE							
1518	CENTURY LINK	09282023	REC/MONITORING & ALARM LINES	09/28/2023	259.28	.00	
Total RECREATION:					540.40	.00	
CUSTODIAL SERVICES							
10-74-420 CONTRACTED SERVICES							
4316	JANI-KING OF SALT LAKE	SLC10230107	CLEANING SERVICES	10/01/2023	1,350.00	.00	
4316	JANI-KING OF SALT LAKE	SLC10230238	CLEANING SERVICES	10/01/2023	2,821.50	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total CUSTODIAL SERVICES:					4,171.50	.00	
Total GENERAL FUND:					70,306.89	.00	
CLASS C ROAD FUND							
EXPENDITURES							
20-40-480 DEPARTMENTAL SUPPLIES							
3312	GENEVA ROCK PRODUC	2726571	CLASS C ROADS/ASPHALT	09/29/2023	211.40	.00	
3312	GENEVA ROCK PRODUC	2728386	CLASS C ROADS/ASPHALT	10/04/2023	71.71	.00	
3312	GENEVA ROCK PRODUC	2729181	CLASS C ROADS/ASPHALT	10/05/2023	3,241.55	.00	
3312	GENEVA ROCK PRODUC	2731608	CLASS C ROADS/ASPHALT	10/10/2023	481.80	.00	
20-40-806 VALLEY VIEW SRTS							
6537	PRONGHORN CONSTRU	3-10112023	LOADER AVE 300 TO 500 SOUTH	10/11/2023	61,873.37	.00	
20-40-808 2600 North Reconstruction							
6760	RB & G ENGINEERING, I	230143	2600 N STREET IMPROVEMENTS	10/09/2023	43,620.00	.00	
7852	STAKER & PARSON COM	4-10112023	2600 N IMPROVEMENTS	10/11/2023	393,844.21	.00	
20-40-809 1300 West MAG							
5635	NEWMAN CONSTRUCTIO	7-10112023	1300 W STREET AND UTILITY IMPR	10/11/2023	135,188.29	.00	
20-40-810 1300 East Roadway							
827	BD BUSH EXCAVATION	7-10112023	1300 E IMPROVEMENT PROJECT	10/11/2023	169,029.47	.00	
20-40-816 SIDEWALK CURB & GUTTER							
6537	PRONGHORN CONSTRU	3-10112023	LOADER AVE 300 TO 500 SOUTH	10/11/2023	46,886.54	.00	
20-40-820 900 WEST							
4542	KILGORE COMPANIES LL	1-09122023	900 W SURFACE RESTORATION	09/12/2023	224,308.58	.00	
Total EXPENDITURES:					1,078,756.92	.00	
Total CLASS C ROAD FUND:					1,078,756.92	.00	
CEMETERY							
22-70-200 MOWER EXPENSE							
1003	BONNEVILLE EQUIPMEN	2003732	CEM/MAINTENANCE PARTS	10/06/2023	423.01	.00	
5480	MOUNTAINLAND POWER	108945	CEM/MOWER MAINTENANCE PART	10/06/2023	117.64	.00	
5480	MOUNTAINLAND POWER	108946	CEM/MOWER MAINTENANCE PART	10/06/2023	410.63	.00	
5480	MOUNTAINLAND POWER	108947	CEM/MOWER MAINTENANCE PART	10/06/2023	613.89	.00	
Total :					1,565.17	.00	
Total CEMETERY:					1,565.17	.00	
GEN PURPOSE BOND RETIRE FUND							
BONDS - GENERAL							
32-80-570 Payment to Bond Escrow Agent							
8741	US BANK	7065814	ADMIN FEE GENERAL OBLIGATION	09/25/2023	500.00	.00	
Total BONDS - GENERAL:					500.00	.00	
Total GEN PURPOSE BOND RETIRE FUND:					500.00	.00	
LOCAL BLDG AUTH OF P.G. FUND							
EXPENDITURES							
42-40-490 THE RUTH (HCT) PROJECT							
2587	EARTHTEC ENGINEERIN	1841	HALE CENTER THEATER PROJECT-	07/31/2023	8,496.00	.00	
4691	LAYTON CONSTRUCTIO	2210140016	HALE THEATER	09/30/2023	1,556,979.34	.00	
5184	METHOD STUDIO, INC	34017	HALE CENTER THEATER	10/16/2023	42,798.90	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total EXPENDITURES:					1,608,274.24	.00	
Total LOCAL BLDG AUTH OF P.G. FUND:					1,608,274.24	.00	
STORM DRAIN UTILITY FUND							
GENERAL GOVERNMENT							
48-41-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945215985	MULTI DEPT/CELL PHONE EXEPNS	09/23/2023	399.48	.00	
48-41-480 DEPARTMENTAL SUPPLIES							
675	AUTO ZONE STORES, IN	6231275121	STRM DRN/DEPARTMENTAL SUPPL	09/26/2023	20.45	.00	
1368	C-A-L RANCH STORES	13928/8	STRM DRN/DEPARTMENTAL SUPPL	10/11/2023	114.98	.00	
3312	GENEVA ROCK PRODUC	2717680	STRM DRN/DEPARTMENTAL SUPPLI	09/14/2023	1,008.38	.00	
3974	HOSE & RUBBER SUPPL	01834580	STRM DRN/DEPARTMENTAL SUPPL	09/07/2023	1,132.60	.00	
9125	VERIZON CONNECT NWF	370000048279	STRM DRAN/MONTHLY SERVICE C	10/02/2023	102.66	.00	
48-41-610 MISCELLANEOUS EXPENSE							
320	AMFAX CORPORATION	23102945	UTILITY BILLING/TEXT MESSAGES	10/10/2023	11.84	.00	
3151	FREEDOM MAILING SER	46328	UTILITY BILL MAILING	10/05/2023	608.85	.00	
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	36.84	.00	
Total GENERAL GOVERNMENT:					3,436.08	.00	
Total STORM DRAIN UTILITY FUND:					3,436.08	.00	
CAPITAL PROJECTS FUND							
49-60-403 PARKS 2024							
2493	DUFF SHELLEY MOWER	11962	PARKS/NEW POLARIS WITH PLOW	10/04/2023	5,100.00	.00	
Total :					5,100.00	.00	
Total CAPITAL PROJECTS FUND:					5,100.00	.00	
WATER FUND							
EXPENDITURES							
51-40-240 OFFICE EXPENSE							
320	AMFAX CORPORATION	23102945	UTILITY BILLING/TEXT MESSAGES	10/10/2023	23.68	.00	
3151	FREEDOM MAILING SER	46328	UTILITY BILL MAILING	10/05/2023	1,217.71	.00	
51-40-250 VEHICLE EXPENSE							
675	AUTO ZONE STORES, IN	6231253811	WATER/VEHICLE EXPENSE	08/24/2023	87.98	.00	
675	AUTO ZONE STORES, IN	6231263385	WATER/VEHICLE EXPENSE	09/07/2023	21.18	.00	
675	AUTO ZONE STORES, IN	6231272375	WATER/VEHICLE EXPENSE	09/21/2023	32.65	.00	
3974	HOSE & RUBBER SUPPL	01839538	WATER/DEPARTMENTAL SUPPLIES	09/20/2023	1.83	.00	
6278	PLEASANT GROVE BIG O	044250-51336	WATER/NEW VEHICLE TIRES	08/23/2023	266.70	.00	
6278	PLEASANT GROVE BIG O	044250-53321	WATER/NEW VEHICLE TIRES	09/25/2023	377.96	.00	
51-40-270 POWER EXPENSE							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	23,082.40	.00	
51-40-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9845773759	SEC WATER PUMP HOUSE	10/01/2023	290.24	.00	
9131	VERIZON WIRELESS	9945215985	MULTI DEPT/CELL PHONE EXEPNS	09/23/2023	466.07	.00	
51-40-300 PPE SAFETY & UNIFORM							
1368	C-A-L RANCH STORES	13902/8	WATER/ASSORTED SUPPLIES	10/02/2023	41.98	.00	
4208	INTERMOUNTAIN FARME	1019499096	WATER/CLOTHING	07/28/2023	244.98	.00	
4208	INTERMOUNTAIN FARME	1470445022	WATER/FINANCE CHARGES	08/31/2023	1.45	.00	
4208	INTERMOUNTAIN FARME	1470445735	WATER/FINANCE CHARGES	09/30/2023	3.65	.00	
51-40-340 TESTING & ANALYSIS							
6938	RICHARDS LABORATORI	42655	WATER/TESTING	10/04/2023	900.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
6938	RICHARDS LABORATORI	42821	WATER TESTING	10/18/2023	525.00	.00	
51-40-420 STREET REPAIRS							
3312	GENEVA ROCK PRODUC	2729971	WATER/DEPARTMENTAL SUPPLIES	10/06/2023	122.61	.00	
51-40-480 DEPARTMENTAL SUPPLIES							
5482	MOUNTAINLAND SUPPLY	S105608470.0	WATER/DEPARTMENTAL SUPPLIES	10/03/2023	1,488.63	.00	
51-40-600 REPAIR & MAINTENANCE							
2192	D AND L SUPPLY CO., IN	150749	WATER/DEPARTMENTAL SUPPLIES	10/16/2023	3,135.00	.00	
5482	MOUNTAINLAND SUPPLY	S105319575.0	WATER/DEPARTMENTAL SUPPLIES	10/11/2023	10,566.84	.00	
5482	MOUNTAINLAND SUPPLY	S105615004.0	WATER/2600 N PROJECT	09/01/2023	196.69	.00	
5482	MOUNTAINLAND SUPPLY	S105710043.0	WATER/DEPARTMENTAL SUPPLIES	10/04/2023	500.65	.00	
7075	ROCKY MOUNTAIN VALV	001796	WATER/DEPARTMENTAL SUPPLIES	10/18/2023	1,071.93	.00	
7726	SOUTH VALLEY WATER L	1566	WATER/LEAK DETECTION	10/08/2023	587.50	.00	
7859	STANDARD FENCE INC.	2256	WATER/CHAINLINK FENCE INSTALL	10/12/2023	1,150.00	.00	
51-40-604 NORTH UT COUNTY AQUIFER							
1505	CENTRAL UTAH WATER	13192	WATER/NORTH UTAH COUNTY AQ	10/01/2023	10,000.00	.00	
51-40-610 MISCELLANEOUS EXPENSE							
4225	INTERMOUNTAIN WORK	3454240	WATER/DRUG SCREEN	10/16/2023	117.00	.00	
51-40-740 EQUIPMENT							
3974	HOSE & RUBBER SUPPL	01847800	WATER/DEPARTMENTAL SUPPLIES	10/11/2023	368.54	.00	
51-40-760 TECHNOLOGY							
9040	UTOPIA FIBER	CIV202310-03	INTERNET SERVICE	10/01/2023	180.20	.00	
Total EXPENDITURES:					57,071.05	.00	
WATER CAPITAL PROJECTS							
51-70-964 Gibson Chlorinator							
3627	HANSEN, ALLEN & LUCE,	50480	WATER/CHLORINATION FACILITY	10/16/2023	170.25	.00	
51-70-965 Atwood Chlorinator							
3627	HANSEN, ALLEN & LUCE,	50480	WATER/CHLORINATION FACILITY	10/16/2023	170.25	.00	
51-70-969 ANDERSON CHLORINATOR							
3627	HANSEN, ALLEN & LUCE,	50480	WATER/CHLORINATION FACILITY	10/16/2023	170.25	.00	
51-70-970 FIBER & SECURITY							
9040	UTOPIA FIBER	CIV202310-03	INTERNET INSTALLATION	10/01/2023	8,498.00	.00	
51-70-971 ADAMS CHLORINATOR							
3627	HANSEN, ALLEN & LUCE,	50480	WATER/CHLORINATION FACILITY	10/16/2023	170.25	.00	
Total WATER CAPITAL PROJECTS:					9,179.00	.00	
Total WATER FUND:					66,250.05	.00	
SEWER FUND EXPENDITURES							
52-40-240 OFFICE EXPENSE							
320	AMFAX CORPORATION	23102945	UTILITY BILLING/TEXT MESSAGES	10/10/2023	23.68	.00	
3151	FREEDOM MAILING SER	46328	UTILITY BILL MAILING	10/05/2023	1,217.71	.00	
52-40-250 VEHICLE EXPENSE							
6278	PLEASANT GROVE BIG O	044250-49962	SEC WATER/NEW TIRES	08/03/2023	897.76	.00	
52-40-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945215985	MULTI DEPT/CELL PHONE EXEPNS	09/23/2023	399.48	.00	
52-40-350 CHARGES FOR TREATMENT							
8422	TIMP. SPECIAL SERVICE	09292023	WASTEWATER TREATMENT	09/30/2023	220,569.96	.00	
52-40-480 DEPARTMENTAL SUPPLIES							
5833	O'REILLY AUTOMOTIVE I	3623-497136	SEWER/VEHICLE EXPENSE	09/11/2023	15.99	.00	
Total EXPENDITURES:					223,124.58	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total SEWER FUND:					223,124.58	.00	
METROPOLITAN WATER DIST.							
53-40-540 IRRIGATION WATER ASSESSMENTS							
6322	PLEASANT GROVE IRRIG	22733	ASSESSMENT FEE FOR M. BROWN	10/04/2023	324.50	.00	
Total :					324.50	.00	
Total METROPOLITAN WATER DIST.:					324.50	.00	
SECONDARY WATER EXPENDITURES							
54-40-270 POWER EXPENSE							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	3,229.19	.00	
54-40-300 PPE SAFETY & UNIFORM							
1368	C-A-L RANCH STORES	13882/8	SEC WATER/CLOTHING	09/22/2023	59.99	.00	
54-40-600 REPAIR & MAINTENANCE							
3525	GRISWOLD INDUSTRIES	876385	SEC WATER/DEPARTMENTAL SUPP	08/28/2023	4,617.00	.00	
3525	GRISWOLD INDUSTRIES	878937	SEC WATER/DEPARTMENTAL SUPP	10/03/2023	4,100.80	.00	
54-40-603 SECONDARY WATER PHASE 2							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	1,961.48	.00	
Total EXPENDITURES:					13,968.46	.00	
CAPITAL PROJECTS							
54-70-945 SECONDARY METERING							
4040	HYDRO SPECIALTIES CO	27418	SEC WATER/BADGER METERS	09/25/2023	93,738.24	.00	
5482	MOUNTAINLAND SUPPLY	S105730022.0	SEC WATER/METERING	10/12/2023	14.02	.00	
6134	PETERSON PLUMBING S	3132230	SECONDARY METERING EXPENSE	10/12/2023	753.40	.00	
Total CAPITAL PROJECTS:					94,505.66	.00	
Total SECONDARY WATER:					108,474.12	.00	
SWIMMING POOL							
SWIMMING POOL							
71-73-380 HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	8,718.09	.00	
71-73-382 POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	3,532.70	.00	
Total SWIMMING POOL:					12,250.79	.00	
Total SWIMMING POOL:					12,250.79	.00	
COMMUNITY CENTER							
72-71-060 COMMUNITY CTR - HEATING							
2465	DOMINION ENERGY	10102023	MULTI DEPT/HEATING EXPENSE	10/10/2023	238.15	.00	
72-71-061 COMMUNITY CTR - POWER							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	6,493.86	.00	
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	12.84	.00	
72-71-270 POWER EXPENSE							
7062	ROCKY MOUNTAIN POW	10062023	MULTI DEPT/ELECTRICITY EXPENS	10/06/2023	614.03	.00	
72-71-410 PROGRAM SUPPLIES & EQUIPMENT							
4418	JUMPTOWN INFLATABLE	06786	REC/FUNSHINE HALLOWEEN CAR	10/07/2023	1,171.75	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total :					8,530.63	.00	
Total COMMUNITY CENTER:					8,530.63	.00	
CULTURAL ARTS							
PROGRAM EXPENDITURES							
73-71-552 PG PLAYERS							
819	BAXTER, KIRK RICHARD	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
1199	BROWN, BRENNIA JEAN	10182023	PG PLAYERS/CAST STIPEND & TEC	10/18/2023	275.00	.00	
1794	CLARK, WESLEY TARLET	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
1995	CORDERO, DIEGO	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
2020	CORNABY, THOMAS C.	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
2345	DELAFUENTE, MATTHEW	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
2679	ELISON, KATHLEEN	10182023	PG PLAYERS/STAGE MANAGER	10/18/2023	900.00	.00	
2683	ELLINGTON, JOEL S.	10182023	PG PLAYERS/TECH CREW	10/18/2023	150.00	.00	
2865	FILLMORE, ABIGAIL KIMB	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
2990	FONTANA, KRISTINA ELIZ	10182023	PG PLAYER/COSTUMER-SET DESI	10/18/2023	1,500.00	.00	
2991	FONTANA, MADISON LEI	10182023	PG PLAYERS/TECH CREW	10/18/2023	100.00	.00	
3340	GLENN, SUSAN R.	10182023	PG PLAYERS/COSTUMER	10/18/2023	200.00	.00	
4317	JARDINE, CHAD	10182023	PG PLAYERS/GRAPHICS-PROGRA	10/18/2023	450.00	.00	
4866	LITTLE, KATHRYN LAYCO	10182023	PG PLAYERS/DIRECTOR	10/18/2023	2,600.00	.00	
5022	LUKE, JAYNE	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
5415	MOSS, BRAYDEN	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
6111	PERRY, JOHANNE F.	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
6600	PURDIE, DENNIS	10122023	PG PLAYERS/REIMB. FOR SHIRTS	10/12/2023	591.23	.00	
6600	PURDIE, DENNIS	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
6602	PURDIE, MOLLY JUNE	10182023	PG PLAYERS/HOUSE MANAGER	10/18/2023	300.00	.00	
8347	THOMPSON, EMILY	10122023	PG PLAYERS/REIMB. FOR BANNER	10/12/2023	640.15	.00	
8347	THOMPSON, EMILY	10132023	PG PLAYERS/REIMB. FOR SCRIPTS	10/12/2023	264.15	.00	
9203	WAKE, JOHN B	10182023	PG PLAYERS/STIPEND	10/18/2023	200.00	.00	
Total PROGRAM EXPENDITURES:					10,170.53	.00	
Total CULTURAL ARTS:					10,170.53	.00	
RECREATION							
CARE TAX							
76-76-702 ARTS							
5727	OASIS STAGE WERKS	08032023	PG PLAYERS/STAGE LIGHTING 20	08/03/2023	16,472.60	.00	
76-76-703 SPECIAL PROJECTS							
4825	LITTLEDIKE, RYANNE	0001	VIKING DAY EVENT	10/03/2023	480.00	.00	
4825	LITTLEDIKE, RYANNE	0002	VIKING DAY EVENT	10/09/2023	600.00	.00	
76-76-903 PARKS PROJECTS							
2493	DUFF SHELLEY MOWER	11962	PARKS/NEW POLARIS WITH PLOW	10/04/2023	4,769.00	.00	
Total CARE TAX:					22,321.60	.00	
Total RECREATION:					22,321.60	.00	
Grand Totals:					3,219,386.10	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
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Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City Finance Director: _____

Report Criteria:

Invoices with totals above \$0 included.

Only unpaid invoices included.

Report Criteria:

Invoices with totals above \$0 included.
 Only unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND							
10-13100 ACCTS REC.- CITY EMPLOYEES							
3080	FRATERNAL ORDER OF	1020203	PD/DUES	10/20/2023	391.00	.00	
4614	L.N. CURTIS & SONS	760413	PD/PERSONAL SUPPLIES	10/31/2023	44.99	.00	
7505	SKAGGS COMPANIES, IN	450A2003131	PD/PERSONAL SUPPLIES	10/30/2023	92.99	.00	
7505	SKAGGS COMPANIES, IN	450A2004301	PD/PERSONAL SUPPLIES	10/30/2023	269.34	.00	
10-21250 LIFE INSURANCE PAYABLE							
8265	THE LINCOLN NATIONAL	11012023	INSURANCE PREMIUM	11/01/2023	6,592.02	.00	
10-21355 CASH BONDS (NEW)							
6455	PRINCE, ALAN J	10182023	STREET LIGHT BOND INTEREST	10/19/2023	694.17	.00	
6455	PRINCE, ALAN J	10192023	STREET LIGHT BOND RELEASE	10/19/2023	4,519.57	.00	
Total :					12,604.08	.00	
JUDICIAL							
10-42-330 PROFESSIONAL SERVICES							
2970	FLORES, ALFONSO	10252023	JUDICIAL/INTERPRETER	10/25/2023	246.00	.00	
Total JUDICIAL:					246.00	.00	
NON-DEPARTMENTAL							
10-43-420 ELECTION EXPENSE							
3151	FREEDOM MAILING SER	46388	CANDIDATE INFORMATION LETTER	10/18/2023	2,837.03	.00	
8730	UPPER CASE PRINTING,	1063	CANDIDATE INFORMATION PRINTI	10/23/2023	2,131.09	.00	
10-43-760 TECHNOLOGY							
2949	FLINDERS, LISA	1023	CONTRACTED SERVICES	11/01/2023	2,295.00	.00	
4092	ICONNECT STRATAGIES,	230901	WEBSITE RETAINER AGREEMENT	10/19/2023	583.00	.00	
4092	ICONNECT STRATAGIES,	231001	WEBSITE RETAINER AGREEMENT	10/19/2023	583.00	.00	
10-43-770 Public Safety Trust Fund							
3792	HEALTHIER YOU COUNS	11012023	FIRST RESPONDERS COUNSELING	11/01/2023	390.10	.00	
Total NON-DEPARTMENTAL:					8,819.22	.00	
ADMINISTRATIVE SERVICES							
10-46-240 OFFICE EXPENSE							
1760	CINTAS CORP	5181949311	ADM/FIRST AID SUPPLIES	10/30/2023	100.79	.00	
5729	ODP BUSINESS SOLUTIO	336058794001	ADM/OFFICE SUPPLIES	10/26/2023	25.95	.00	
6343	PLEASANT GROVE PRIN	9688	ADM/ENVELOPES	10/24/2023	520.50	.00	
10-46-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	ADM/AIRCARDS	10/01/2023	40.01	.00	
10-46-930 COMMUNITIES THAT CARE GRANT							
8056	SUNDRY STREET LLC	11012023	CTC/MARKETING SERVICES	11/01/2023	388.31	.00	
Total ADMINISTRATIVE SERVICES:					1,075.56	.00	
FACILITIES							
10-47-530 CITY HALL - BLDG MAINTENANCE							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	112.72	.00	
10-47-610 POLICE - POWER							
7062	ROCKY MOUNTAIN POW	10232023	PD/ELECTRICITY EXPENSE	10/23/2023	2,123.54	.00	
10-47-660 FIRE/AMBULANCE - BLDG MAINT							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	450.64	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
10-47-670 FIRE/AMBULANCE - BLDG IMPROVE							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	171.00	.00	
10-47-700 CEMETERY BLDG - BLDG MAINT							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	92.32	.00	
10-47-730 LIBRARY/SENIOR - BLDG MAINT							
8003	STONE SECURTY, LLC	65210	LIB/DOOR REPAIR-SERVICE CALL	10/26/2023	150.00	.00	
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	82.24	.00	
10-47-830 SR CENTER - BLDG MAINT							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	72.60	.00	
Total FACILITIES:					3,255.06	.00	
ENGINEERING							
10-51-240 OFFICE EXPENSE							
6343	PLEASANT GROVE PRIN	9638	ENG/BUSINESS CARDS	08/21/2023	60.00	.00	
10-51-332 PROFESSIONAL SERVICES							
3970	HORROCKS ENGINEERS	79924	MULTI DEPT ENGINEERING	09/08/2023	3,773.23	.00	
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	4,720.44	.00	
4292	J.U.B. ENGINEERS, INC.	0166909	GENERAL SERVICES	10/13/2023	377.30	.00	
10-51-333 TRANSPORTATION MASTER PLAN							
3970	HORROCKS ENGINEERS	80600	TRANSPORTATION MASTER PLAN	10/06/2023	1,192.00	.00	
10-51-334 600 WEST CENTER TRAFFIC STUDY							
3970	HORROCKS ENGINEERS	79956	GENERAL ENGINEERING	09/11/2023	3,334.00	.00	
Total ENGINEERING:					13,456.97	.00	
COMMUNITY DEVELOPMENT							
10-52-240 OFFICE EXPENSE							
5729	ODP BUSINESS SOLUTIO	338161342001	COM DEV/OFFICE SUPPLIES	10/20/2023	64.40	.00	
5729	ODP BUSINESS SOLUTIO	338194872001	COM DEV/OFFICE SUPPLIES	10/20/2023	19.72	.00	
5729	ODP BUSINESS SOLUTIO	338194873001	COM DEV/OFFICE SUPPLIES	10/20/2023	2.28	.00	
10-52-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	173.92	.00	
9131	VERIZON WIRELESS	9945782011	COM DEV/AIR CARDS	10/01/2023	80.02	.00	
10-52-610 MISCELLANEOUS							
5033	MACEYS	381920	COM DEV/MEETING EXPENSE	10/23/2023	29.16	.00	
Total COMMUNITY DEVELOPMENT:					369.50	.00	
POLICE DEPARTMENT							
10-54-240 OFFICE EXPENSE							
990	BLUEFIN OFFICE GROUP	016243	PD/CREDIT	08/31/2023	173.97-	.00	
990	BLUEFIN OFFICE GROUP	016884-00	PD/OFFICE SUPPLIES	10/19/2023	622.03	.00	
10-54-250 VEHICLE EXPENSE							
3468	GREASE MONKEY #790	293365	PD/VEHICLE MAINTENANCE	10/26/2023	90.45	.00	
10-54-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	2,977.39	.00	
10-54-300 UNIFORM EXPENSE							
7220	SALT LAKE WHOLESALE	93501	PD/HOLSTER	10/26/2023	1,294.99	.00	
10-54-440 K9 SUPPLIES							
8394	TIMPANOGOS ANIMAL H	913816569	PD/CANINE EXAM	10/24/2023	30.31	.00	
10-54-480 DEPARTMENTAL SUPPLIES							
3012	FORENSIC NURSING SE	1406	PD/DEPARTMENTAL SUPPLIES	11/01/2023	140.00	.00	
5139	MCGEE'S STAMP & TROP	118019	PD/OFFICER OF THE QUARTER	10/11/2023	41.00	.00	
9120	VEHICLE LIGHTING SOL	12830	PD/USB POWER OUTLET	05/26/2023	15.75	.00	
10-54-740 EQUIPMENT							
7220	SALT LAKE WHOLESALE	93671	PD/STREAMLIGHT	10/31/2023	5,208.95	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
9120	VEHICLE LIGHTING SOL	13655	PD/UNIFORM EXPENSE	10/31/2023	349.44	.00	
10-54-760 TECHNOLOGY							
4772	LEXIPOL, LLC	19000	PD/POLICY MANUAL UPDATES	09/01/2023	8,721.72	.00	
Total POLICE DEPARTMENT:					19,318.06	.00	
FIRE DEPARTMENT							
10-55-250 VEHICLE EXPENSE							
3468	GREASE MONKEY #790	293120	FIRE/VEHICLE EXPENSE	10/19/2023	138.60	.00	
3468	GREASE MONKEY #790	293122	FIRE/VEHICLE EXPENSE	10/19/2023	173.23	.00	
3468	GREASE MONKEY #790	293123	FIRE/VEHICLE EXPENSE	10/19/2023	135.44	.00	
7122	R.P.M AUTO PARTS	404788	FIRE/VEHICLE EXPENSE	10/25/2023	1,016.16	.00	
8923	UTAH DIESEL CENTER, I	17699	FIRE/VEHICLE EXPENSE	10/23/2023	5,851.60	.00	
10-55-300 UNIFORM EXPENSE							
4614	L.N. CURTIS & SONS	755463	FIRE/UNIFORM EXPENSE	10/13/2023	839.44	.00	
4614	L.N. CURTIS & SONS	757078	FIRE/UNIFORM EXPENSE	10/19/2023	1,079.89	.00	
10-55-480 DEPARTMENTAL SUPPLIES							
5033	MACEYS	374791	FIRE/DEPARTMENTAL SUPPLIES	10/03/2023	165.51	.00	
8015	STRYKER SALES CORPO	9204831556	FIRE/DEPARTMENTAL SUPPLIES	10/13/2023	520.60	.00	
9342	WAXIE'S SANITARY SUPP	82075910	FIRE/BUILDING MAINTENANCE SU	10/31/2023	601.97	.00	
10-55-740 EQUIPMENT							
8012	STRATEGIC COMMUNICA	23SCS-1619	FIRE/RADIOS	10/19/2023	9,127.20	.00	
10-55-760 TECHNOLOGY							
2740	ESO SOLUTIONS, INC.	ESO-120546	FIRE/EQUIPMENT	09/18/2023	1,119.89	.00	
8825	UTAH COMMUNICATIONS	3368	FIRE/PROGRAMMED RADIOS	06/29/2023	130.00	.00	
Total FIRE DEPARTMENT:					20,899.53	.00	
STREETS							
10-60-250 VEHICLE EXPENSE							
7122	R.P.M AUTO PARTS	09302023	STREET/LATE FEE	09/30/2023	3.21	.00	
7122	R.P.M AUTO PARTS	390389	STR/VEHICLE MAINTENANCE	08/09/2023	7.99	.00	
7122	R.P.M AUTO PARTS	394238	STR/DEPARTMENTAL SUPPLIES	08/30/2023	152.61	.00	
10-60-280 TELEPHONE EXPENSE							
1480	CENTRACOM INTERACTI	11022023	MULTI DEPT/PHONE EXPENSE	11/01/2023	286.86	.00	
10-60-480 DEPARTMENTAL SUPPLIES							
5870	OUT BACK GRAPHICS LL	19742	STR/DEPARTMENTAL SUPPLIES	10/18/2023	394.00	.00	
Total STREETS:					844.67	.00	
LIBRARY							
10-65-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	42.23	.00	
10-65-420 PROGRAMING							
5033	MACEYS	381926	LIB/MEETING EXPENSE	10/27/2023	13.98	.00	
10-65-480 BOOKS							
1188	BROAD REACH	ARU0357974	LIB/BOOKS	06/14/2023	161.60	.00	
2598	EASTWEST BOOKS	0361020	LIB/BOOKS	10/24/2023	350.47	.00	
4632	LAKEVIEW BOOKS	0361021	LIB/BOOKS	10/24/2023	297.28	.00	
6094	THE PENWORTHY COMP	0594644	LIB/BOOKS	10/25/2023	921.21	.00	
9523	WILLOW LANE	9361058	LIB/BOOKS	10/24/2023	273.88	.00	
10-65-485 AUDIO/VISUAL MATERIALS							
978	BLACKSTONE PUBLISHI	2116070	LIB/AUDIO BOOKS	08/10/2023	2.95	.00	
6270	PLAYAWAY PRODUCTS L	445055	LIB/AUDIO MATERIALS	10/30/2023	318.69	.00	
10-65-640 PROCESSING							
2395	DEMCO, INC.	7388280	LIB/ASSORTED SUPPLIES	10/25/2023	610.33	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
10-65-760 TECHNOLOGY							
8158	TECH LOGIC CORPORAT	21000145	LIB/LICENSE RENEWAL	10/30/2023	2,499.00	.00	
Total LIBRARY:					5,491.62	.00	
PARKS							
10-70-200 MOWER EXPENSE							
2178	CUTLERS, INC.	645862	PARK/MOWER EXPENSE	10/19/2023	185.76	.00	
8576	TURF EQUIPMENT	301880501	PARK/MOWER EXPENSE	10/17/2023	79.31	.00	
10-70-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	548.99	.00	
10-70-320 SPRINKLER & LANDSCAPE							
970	BJ PLUMBING SUPPLY	001011828	PARK/DEPARTMENTAL SUPPLIES	10/13/2023	239.34	.00	
970	BJ PLUMBING SUPPLY	001012203	PARK/DEPARTMENTAL SUPPLIES	10/18/2023	62.31	.00	
970	BJ PLUMBING SUPPLY	001012336	PARKS/DEPARTMENTAL SUPPLIES	10/19/2023	95.20	.00	
10-70-330 PLAYGROUND SUPPLIES							
889	BIG T RECREATION	5898	PICNIC TABLES BENCH AND TRAS	10/18/2023	2,654.00	.00	
6450	PREVENTIVE PEST CON	422842	PARKS/PEST CONTROL	10/25/2023	81.00	.00	
10-70-420 SPECIAL SERVICES							
8856	UTAH COUNTY AUDITOR	59447	MURDOCK TRAIL EXPENSES 7/23-9	10/24/2023	3,504.33	.00	
10-70-480 DEPARTMENTAL SUPPLIES							
675	AUTO ZONE STORES, IN	6231289034	PARK/DEPARTMENTAL SUPPLIES	10/18/2023	4.64	.00	
675	AUTO ZONE STORES, IN	6231289090	PARK/DEPARTMENTAL SUPPLIES	10/18/2023	12.32	.00	
3974	HOSE & RUBBER SUPPL	01852161	PARKS/DEPARTMENTAL SUPPLIES	10/23/2023	404.56	.00	
4019	HUMPHRIES, INC.	465110	PARKS/DEPARTMENTAL SUPPLIES	10/13/2023	111.50	.00	
5033	MACEYS	314488	PARK/DRINKING WATER	10/18/2023	8.79	.00	
10-70-670 SAFETY EQUIP. & SUPPLIES							
1760	CINTAS CORP	5177711227	PARK/FIRST AID SUPPLIES	10/02/2023	114.29	.00	
10-70-750 CHRISTMAS LIGHTS							
7798	SPRINKLER WORLD	UTM081	PARK/CHRISTMAS LIGHTS	10/26/2023	600.00	.00	
Total PARKS:					8,706.34	.00	
RECREATION							
10-71-240 OFFICE EXPENSE							
5033	MACEYS	315429	REC/ASSORTED SUPPLIES	10/18/2023	69.21	.00	
8219	TEXTILE TEAM OUTLET	6380	REC/ SHIRTS	10/10/2023	7,256.00	.00	
10-71-480 DEPARTMENTAL SUPPLIES							
3571	GURR'S COPYTEC	64051	REC/POSTERS	10/11/2023	33.19	.00	
Total RECREATION:					7,358.40	.00	
LEISURE SERVICES							
10-72-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	42.23	.00	
Total LEISURE SERVICES:					42.23	.00	
CUSTODIAL SERVICES							
10-74-285 CELLULAR SERVICES							
9131	VERIZON WIRELESS	9945782011	MULTI DEPT/CELL PHONE EXEPNS	10/01/2023	42.23	.00	
10-74-480 DEPARTMENTAL SUPPLIES							
9342	WAXIE'S SANITARY SUPP	82014629	BUILDING MAINTENANCE SUPPLIE	10/03/2023	1,587.95	.00	
9342	WAXIE'S SANITARY SUPP	82024656	BUILDING MAINTENANCE SUPPLIE	10/06/2023	495.00	.00	
9342	WAXIE'S SANITARY SUPP	82046269	BUILDING MAINTENANCE SUPPLIE	10/17/2023	1,295.88	.00	
10-74-481 CHEMICALS							
9342	WAXIE'S SANITARY SUPP	82014629	BUILDING MAINTENANCE SUPPLIE	10/03/2023	204.46	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
9342	WAXIE'S SANITARY SUPP	82046269	BUILDING MAINTENANCE SUPPLIE	10/17/2023	327.48	.00	
Total CUSTODIAL SERVICES:					3,953.00	.00	
Total GENERAL FUND:					106,440.24	.00	
CLASS C ROAD FUND							
EXPENDITURES							
20-40-806 VALLEY VIEW SRTS							
3970	HORROCKS ENGINEERS	79924	MULTI DEPT/ENGINEERING	09/08/2023	4,305.39	.00	
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	656.27	.00	
20-40-808 2600 North Reconstruction							
2192	D AND L SUPPLY CO., IN	151100	2600 N RECONSTRUCTION PROJE	10/24/2023	6,090.00	.00	
4318	JACQUES & ASSOCIATE	1958	CLASS C ROADS/2600 N STREET P	10/13/2023	4,400.40	.00	
5482	MOUNTAINLAND SUPPLY	S105733623.0	FIRE HYDRANTS	10/16/2023	4,451.35	.00	
20-40-809 1300 West MAG							
3970	HORROCKS ENGINEERS	79918	MULTI DEPT ENGINEERING	09/08/2023	7,983.03	.00	
3970	HORROCKS ENGINEERS	80571	MULTI DEPT ENGINEERING	10/04/2023	2,217.15	.00	
20-40-810 1300 East Roadway							
3970	HORROCKS ENGINEERS	79918	MULTI DEPT ENGINEERING	09/08/2023	31,378.70	.00	
3970	HORROCKS ENGINEERS	80571	MULTI DEPT ENGINEERING	10/04/2023	16,411.22	.00	
20-40-820 900 WEST							
6760	RB & G ENGINEERING, I	230146	900 W MILL & OVERPAY	10/09/2023	2,565.00	.00	
Total EXPENDITURES:					80,458.51	.00	
BONDS - GENERAL							
20-80-302 300 EAST 900 N TO 1100 N							
3970	HORROCKS ENGINEERS	79924	MULTI DEPT/ENGINEERING	09/08/2023	4,276.05	.00	
20-80-303 100 E COUNTY MATCH							
1970	CONSOR NORTH AMERI	U170026UT.00	CLASS C ROADS/2600 N ROAD RE	10/05/2023	13,846.25	.00	
20-80-304 2023 MICRO SURFACE							
6760	RB & G ENGINEERING, I	230150	MIROSURFACING ISSUES EVALUAT	10/11/2023	1,695.00	.00	
Total BONDS - GENERAL:					19,817.30	.00	
Total CLASS C ROAD FUND:					100,275.81	.00	
CEMETERY							
22-70-200 MOWER EXPENSE							
5833	O'REILLY AUTOMOTIVE I	36223-101683	CEM/DEPARTMENTAL SUPPLIES	10/12/2023	71.88	.00	
22-70-320 SPRINKLER & LANDSCAPE							
970	BJ PLUMBING SUPPLY	001012278	CEM/DEPARTMENTAL SUPPLIES	10/19/2023	56.85	.00	
970	BJ PLUMBING SUPPLY	001012735	CEM/DEPARTMENTAL SUPPLIES	10/24/2023	233.12	.00	
2610	EC LANDSCAPING LLC	2843	CEM/WEED CONTROL	10/26/2023	1,700.00	.00	
8522	TREE SOURCE - PLEASA	1113707-1	CEM/CHOCOLATE BARK	09/29/2023	190.00	.00	
Total :					2,251.85	.00	
Total CEMETERY:					2,251.85	.00	
LOCAL BLDG AUTH OF P.G. FUND							
EXPENDITURES							
42-40-490 THE RUTH (HCT) PROJECT							
485	ANDERSON WAHLEN & A	64610	HALE CENTER THEATER	09/30/2023	1,200.00	.00	
2587	EARTHTEC ENGINEERIN	2588	HALE CENTER THEATER PROJECT	09/30/2023	8,262.32	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total EXPENDITURES:					9,462.32	.00	
Total LOCAL BLDG AUTH OF P.G. FUND:					9,462.32	.00	
STORM DRAIN UTILITY FUND							
GENERAL GOVERNMENT							
48-41-280 TELEPHONE EXPENSE							
1480	CENTRACOM INTERACTI	11022023	MULTI DEPT/PHONE EXPENSE	11/01/2023	122.11	.00	
48-41-330 ENGINEERING SERVICES							
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	215.56	.00	
48-41-480 DEPARTMENTAL SUPPLIES							
2192	D AND L SUPPLY CO., IN	150678	STRM DRN/DEPARTMENTAL SUPPL	10/13/2023	674.00	.00	
48-41-610 MISCELLANEOUS EXPENSE							
993	BLUE STAKES OF UTAH 8	202303022	EXCAVATION MARKING SERVICES	10/31/2023	143.40	.00	
6343	PLEASANT GROVE PRIN	9638	SHUT OFF NOTICE	08/21/2023	102.90	.00	
Total GENERAL GOVERNMENT:					1,257.97	.00	
STORM DRAIN PROJECTS							
48-70-927 GEBHARDT DETENTION							
3970	HORROCKS ENGINEERS	80572	MULTI DEPT ENGINEERING	10/04/2023	815.72	.00	
48-70-930 I-15 TO UTAH LAKE OUTFALL							
3970	HORROCKS ENGINEERS	79917	MULTI DEPT ENGINEERING	09/08/2023	8,987.29	.00	
3970	HORROCKS ENGINEERS	80572	MULTI DEPT ENGINEERING	10/04/2023	7,343.77	.00	
Total STORM DRAIN PROJECTS:					17,146.78	.00	
Total STORM DRAIN UTILITY FUND:					18,404.75	.00	
CAPITAL PROJECTS FUND							
49-60-701 RECREATION 2024							
5470	MOUNTAIN ALARM FIRE	3954396	REC/ADDITIONS TO EXISTING CAM	09/25/2023	11,233.14	.00	
5470	MOUNTAIN ALARM FIRE	3965377	REC/SERVICE CALL	10/06/2023	257.50	.00	
49-60-856 BATTLECREEK RESTROOM							
3970	HORROCKS ENGINEERS	79918	BATTLE CREEK PARK SEWER	09/08/2023	708.35	.00	
3970	HORROCKS ENGINEERS	80571	MULTI DEPT ENGINEERING	10/04/2023	472.23	.00	
49-60-920 KINDNESS PARK							
3970	HORROCKS ENGINEERS	79918	MULTI DEPT ENGINEERING	09/08/2023	129,224.14	.00	
3970	HORROCKS ENGINEERS	80571	MULTI DEPT ENGINEERING	10/04/2023	75,234.31	.00	
Total :					217,129.67	.00	
MISC PROJECTS							
49-90-502 ADMIN 2023							
1368	C-A-L RANCH STORES	13943/8	G MT. SOLAR STATION FENCING	10/19/2023	939.99	.00	
1368	C-A-L RANCH STORES	13945/8	G MT. SOLAR STATION FENCING	10/20/2023	440.00-	.00	
3950	HONEY BUCKET	0553785434	G MT/RESTROOM RENTAL	10/16/2023	318.00	.00	
5718	NORTHWEST FENCE & S	S435604	G MT FENCE EXPENSE	10/19/2023	119.50	.00	
5718	NORTHWEST FENCE & S	S435809	G MT SUPPLIES	10/24/2023	146.64	.00	
5718	NORTHWEST FENCE & S	S435857	G MT SUPPLIES	10/25/2023	14.53	.00	
49-90-909 LIBRARY 2024							
5160	MEIDINGER, JENNA	1	LIB/LANDSCAPE DESIGN SERVICE	07/25/2023	400.00	.00	
Total MISC PROJECTS:					1,498.66	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total CAPITAL PROJECTS FUND:					218,628.33	.00	
WATER FUND							
EXPENDITURES							
51-40-240 OFFICE EXPENSE							
6343	PLEASANT GROVE PRIN	9638	SHUT OFF NOTICE	08/21/2023	205.80	.00	
6343	PLEASANT GROVE PRIN	9638	WATER/BUSINESS CARDS	08/21/2023	60.00	.00	
6343	PLEASANT GROVE PRIN	9638	WATER/BUSINESS CARDS	08/21/2023	60.00	.00	
6343	PLEASANT GROVE PRIN	9638	WATER/BUSINESS CARDS	08/21/2023	60.00	.00	
51-40-280 TELEPHONE EXPENSE							
1480	CENTRACOM INTERACTI	11022023	MULTI DEPT/PHONE EXPENSE	11/01/2023	122.11	.00	
51-40-330 ENGINEERING							
3970	HORROCKS ENGINEERS	79924	MULTI DEPT/ENGINEERING	09/08/2023	1,721.84	.00	
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	323.34	.00	
51-40-335 PROFESSIONAL ENGINEERING							
3970	HORROCKS ENGINEERS	79924	MULTI DEPT/ENGINEERING	09/08/2023	663.93	.00	
3970	HORROCKS ENGINEERS	79924	MULTI DEPT/ENGINEERING	09/08/2023	1,829.46	.00	
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	1,094.52	.00	
3970	HORROCKS ENGINEERS	80978	MULTI DEPT ENGINEERING	10/19/2023	2,263.38	.00	
51-40-340 TESTING & ANALYSIS							
6938	RICHARDS LABORATORI	42923	WATER TESTING	10/31/2023	1,000.00	.00	
51-40-480 DEPARTMENTAL SUPPLIES							
3424	GRAINGER, W.W. INC.	9874915904	WATER/GATE VALVES	10/18/2023	1,613.80	.00	
3424	GRAINGER, W.W. INC.	9878006049	WATER/SUPPLIES	10/20/2023	240.80	.00	
51-40-481 CHEMICALS							
5482	MOUNTAINLAND SUPPLY	S105738546.0	WATER/GRANULAR CHLORINE	10/17/2023	378.46	.00	
51-40-600 REPAIR & MAINTENANCE							
993	BLUE STAKES OF UTAH 8	202303022	EXCAVATION MARKING SERVICES	10/31/2023	143.40	.00	
2192	D AND L SUPPLY CO., IN	150888	WATER/DEPARTMENTAL SUPPLIES	10/18/2023	608.00	.00	
2853	FERGUSON ENTERPRIS	1208251-1	WATER/DEPARTMENTAL SUPPLIES	10/18/2023	1,251.36	.00	
2853	FERGUSON ENTERPRIS	1225667	WATER/DEPARTMENTAL SUPPLIES	10/19/2023	6,825.71	.00	
5482	MOUNTAINLAND SUPPLY	S105731716.0	WATER/2600 N PROJECT	10/13/2023	2,268.58	.00	
5482	MOUNTAINLAND SUPPLY	S105734271.0	WATER/DEPARTMENTAL SUPPLIES	10/16/2023	463.60	.00	
5482	MOUNTAINLAND SUPPLY	S105735423.0	WATER/DEPARTMENTAL SUPPLIES	10/17/2023	3,875.46	.00	
5482	MOUNTAINLAND SUPPLY	S105758499.0	WATER/DEPARTMENTAL SUPPLIES	10/26/2023	282.53	.00	
7726	SOUTH VALLEY WATER L	1577	WATER/LEAK DETECTION	10/28/2023	537.50	.00	
51-40-740 EQUIPMENT							
4727	LEGACY EQUIPMENT CO	00113588	WATER/EQUIPMENT	10/23/2023	630.33	.00	
5482	MOUNTAINLAND SUPPLY	S105743205.0	WATER/DEPARTMENTAL SUPPLIES	10/19/2023	2,387.55	.00	
5482	MOUNTAINLAND SUPPLY	S105743224.0	WATER/DEPARTMENTAL SUPPLIES	10/19/2023	4,928.55	.00	
Total EXPENDITURES:					35,840.01	.00	
WATER CAPITAL PROJECTS							
51-70-943 PRV REPLACEMENT							
3970	HORROCKS ENGINEERS	79918	MULTI DEPT ENGINEERING	09/08/2023	239.92	.00	
3970	HORROCKS ENGINEERS	80571	MULTI DEPT ENGINEERING	10/04/2023	472.23	.00	
51-70-960 GATEWAY WELL							
3970	HORROCKS ENGINEERS	79934	PG BLVD WELL PROJECT	09/08/2023	13,041.56	.00	
3970	HORROCKS ENGINEERS	80976	PG BLVD WELL PROJECT	10/19/2023	13,533.83	.00	
Total WATER CAPITAL PROJECTS:					27,287.54	.00	
Total WATER FUND:					63,127.55	.00	

SEWER FUND

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
EXPENDITURES							
52-40-240 OFFICE EXPENSE							
6343	PLEASANT GROVE PRIN	9638	SHUT OFF NOTICE	08/21/2023	205.80	.00	
52-40-280 TELEPHONE EXPENSE							
1480	CENTRACOM INTERACTI	11022023	MULTI DEPT/PHONE EXPENSE	11/01/2023	122.11	.00	
52-40-600 REPAIR & MAINTENANCE							
993	BLUE STAKES OF UTAH 8	202303022	EXCAVATION MARKING SERVICES	10/31/2023	143.40	.00	
2192	D AND L SUPPLY CO., IN	151036	SEWER/DEPARTMENTAL SUPPLIES	10/23/2023	164.00	.00	
Total EXPENDITURES:					635.31	.00	
52-90-812 SEWER LINERS							
3970	HORROCKS ENGINEERS	79917	MULTI DEPT ENGINEERING	09/08/2023	836.75	.00	
3970	HORROCKS ENGINEERS	80572	MULTI DEPT ENGINEERING	10/04/2023	1,353.07	.00	
52-90-943 600 W CENTER ST TO 1100 N							
2735	EPIC ENGINEERING PC	20132522	SEWER/1160 N PROJECT	09/30/2023	4,183.50	.00	
3970	HORROCKS ENGINEERS	80602	GENERAL ENGINEERING	10/06/2023	2,923.50	.00	
Total :					9,296.82	.00	
Total SEWER FUND:					9,932.13	.00	
SECONDARY WATER EXPENDITURES							
54-40-280 TELEPHONE EXPENSE							
1480	CENTRACOM INTERACTI	11022023	MULTI DEPT/PHONE EXPENSE	11/01/2023	122.11	.00	
54-40-300 PPE SAFETY & UNIFORM							
1368	C-A-L RANCH STORES	13954/8	SEC WATER/CLOTHING	10/24/2023	264.98	.00	
54-40-600 REPAIR & MAINTENANCE							
993	BLUE STAKES OF UTAH 8	202303022	EXCAVATION MARKING SERVICES	10/31/2023	143.40	.00	
Total EXPENDITURES:					530.49	.00	
CAPITAL PROJECTS							
54-70-937 Mill Ditch Canal Piping							
3970	HORROCKS ENGINEERS	79933	GENERAL ENGINEERING	09/08/2023	4,536.88	.00	
3970	HORROCKS ENGINEERS	80570	MILL DITCH PIPING PROJECT	10/04/2023	5,624.48	.00	
54-70-945 SECONDARY METERING							
3970	HORROCKS ENGINEERS	79917	MULTI DEPT ENGINEERING	09/08/2023	327.16	.00	
3970	HORROCKS ENGINEERS	80572	MULTI DEPT ENGINEERING	10/04/2023	777.65	.00	
4040	HYDRO SPECIALTIES CO	27504	SEC WATER/BADGER METERS	10/18/2023	15,876.00	.00	
Total CAPITAL PROJECTS:					27,142.17	.00	
Total SECONDARY WATER:					27,672.66	.00	
SANITATION FUND EXPENDITURES							
62-40-432 TIPPING FEES							
5715	NORTH POINTE SOLID W	116520-103120	RESIDENTIALGARBAGE DISPOSAL	10/31/2023	33,505.30	.00	
Total EXPENDITURES:					33,505.30	.00	
Total SANITATION FUND:					33,505.30	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SWIMMING POOL							
SWIMMING POOL							
71-73-390 BUILDING MAINTENANCE							
1338	C.E.M.	S1779	POOL/SERVICE CALL	10/13/2023	240.00	.00	
71-73-392 BUILDING IMPROVEMENTS							
688	B&D PUMP & ELECTRIC	3357	POOL/EVALUATION FEE	09/21/2023	784.28	.00	
Total SWIMMING POOL:					1,024.28	.00	
Total SWIMMING POOL:					1,024.28	.00	
COMMUNITY CENTER							
72-71-062 COMMUNITY CTR - BLDG MAINT							
8678	UNIFIRST CORPORATIO	10302023	RUG CLEANING	10/30/2023	260.24	.00	
72-71-410 PROGRAM SUPPLIES & EQUIPMENT							
2093	CROWN TROPHY	33712	REC/TROPHIES	10/13/2023	553.50	.00	
3950	HONEY BUCKET	0553762910	REC/RESTROOM RENTAL-CREDIT	08/04/2023	21.03-	.00	
3950	HONEY BUCKET	0553762913	REC/RESTROOM RENTAL	09/01/2023	258.93	.00	
8219	TEXTILE TEAM OUTLET	6466	REC/UNIFORMS	09/21/2023	1,164.02	.00	
72-71-420 CONTRACTED SERVICES							
1522	CERTIFIED ALARM SERVI	21641	MONITORING SERVICES	10/10/2023	38.00	.00	
1522	CERTIFIED ALARM SERVI	21655	MONITORING SERVICES	10/10/2023	33.00	.00	
4740	LES MILLS UNITED STAT	SIV0332416	REC/LES MILLS BASIC	10/05/2023	578.00	.00	
7420	SHIELD-SAFETY, LLC	02203326580	REC/FIRST AID SUPPLIES	10/03/2023	2,773.05	.00	
7444	SHURTLEFF, MATHEW S	1108	REC/CONTRACTED SERVICES-SPA	10/20/2023	375.20	.00	
8156	TCI SECURITY OF UTAH	38399	REC/ALARM MONITORING	10/20/2023	120.00	.00	
72-71-740 Equipment							
7997	STICKS + STONES CABIN	10162023BW	REC/WALL CABINETS	10/18/2023	3,224.50	.00	
Total :					9,357.41	.00	
Total COMMUNITY CENTER:					9,357.41	.00	
RECREATION							
CARE TAX							
76-76-903 PARKS PROJECTS							
889	BIG T RECREATION	5898	PICNIC TABLES BENCH AND TRAS	10/18/2023	17,205.00	.00	
Total CARE TAX:					17,205.00	.00	
Total RECREATION:					17,205.00	.00	
Grand Totals:					617,287.63	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
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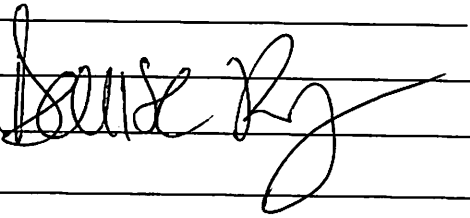
Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City Finance Director: _____



Report Criteria:

- Invoices with totals above \$0 included.
- Only unpaid invoices included.